

# DREAMBUILDER

## OCEANFRONT RESIDENCE

FOR: MATT & ALEXIS KANE

WBA PROJECT # 1204008.000

### ABBREVIATIONS

AC. ACOUSTIC	GA. GAUGE	FT. FOOT
ADD. ADDENDUM	G.I. GALVANIZED IRON	F.B.I. FOUNDS PER SQ. IN.
ADDN. ADDITION	GL. GLASS	F.S.F. FOUNDS PER SQ. FT.
ABC. AGGREGATE BASE COURSE	GD. GRADE	F.C. PRECAST
AGG. AGGREGATE	G. GRAM	P.E.J. PRE-MOLDED EXPANSION JOINT
A/C AIR CONDITIONING	GR. GRILLE	F.L. PROPERTY LINE
AL. ALUMINUM	GRD. GRID	
ALT. ALTERNATE	G. GROUND	
A.B. ANCHOR BOLT	GYP. GYPSUM BOARD	
AND AND	G.B. GYPSUM BOARD	
ARCH. ARCHITECT	H.R. HAND RAIL	
ASP. ASPHALT	HDN. HARDENER	
* AT	HDW. HARDWARE	
	HWD. HARDWOOD	
BSMT. BASEMENT	HTR. HEATER	
BM. BEAM	HT. HEIGHT	
BM. BENCHMARK	HP. HIGH POINT	
BLKG. BLOCKING	H.M. HOLLOW METAL	
BD. BOARD	HORIZ. HORIZONTAL	
B.O. BOTTOM OF	H.S. HOSE BIBB	
BLDG. BUILDING	H.W. HOT WATER	
CABT. CABINET	IN. INCH	
C.I.P. CAST IN PLACE	ID. INSIDE DIAMETER	
CB. CATCH BASIN	INSUL. INSULATION	
CLG. CEILING	INT. INTERIOR	
CEM. CEMENT	INV. INVERT	
CG. CENTIGRAM	JAN. JANITOR	
CH. CENTIMETER	JT. JOINT	
CL. CENTER LINE	JST. JOIST	
CER. CERAMIC	KP. KICK PLATE	
CT. CERAMIC TILE	LAM. LAMINATED	
CHAN. CHANNEL	LDG. LANDING	
CLR. CLEAR	LTH. LATH	
CO. CLEAN OUT	LAV. LAVATORY	
CLOS. CLOSET	LG. LENGTH	
COL. COLUMN	LOC. LOCATION	
CONC. CONCRETE	LT. LIGHT	
CONN. CONNECTION	LWC. LIGHT WEIGHT CONCRETE	
CONST. CONSTRUCTION	LVR. LOUVER	
C.J. CONTROL JOINT	LOC. LOCATION	
CONJT. CONSTRUCTION JOINT	M.O. MASONRY OPENING	
CONT. CONTINUOUS	MATL. MATERIAL	
CONTR. CONTRACTOR	MFR. MANUFACTURER	
CORUG. CORRUGATED	MAX. MAXIMUM	
CTR. COUNTER	MECH. MECHANICAL	
CTSK. COUNTERSUNK UNIT	MET. METAL	
	ML. METAL LATH	
D.P. DAMP PROOFING	M. METER	
DB. DECIBEL	MIN. MINIMUM	
DIAG. DIAGONAL	MLDG. MOLDDLING	
DIAM. DIAMETER	MULL. MULLION	
DIM. DIMENSION		
DISP. DISPENSER	NS. NATURAL GRADE	
DIU. DIESEL	NOM. NOMINAL	
DN. DOWN	N.C. NOT IN CONTRACT	
D.B. DOWNSPOUT	N.T.S. NOT TO SCALE	
DWG. DRAWING	NO. NUMBER	
EA. EACH	OB.S. OBSCURE	
EL. ELECTRIC	O.C. ON CENTER	
E.D.F. ELECTRIC DRINKING FOUNTAIN	OPG. OPENING	
ELEV. ELEVATION	O.A. OVERALL	
EQ. EQUAL	OD. OUTSIDE DIAMETER	
EQUIP. EQUIPMENT	OF.S. OVERFLOW SCUPPER	
EXH. EXHAUST	O.F.D. OVERFLOW DRAIN	
EXPAN. EXPANSION		
E.J. EXPANSION JOINT		
EXIST. EXISTING		
EXT. EXTERIOR		
FT. FEET	FTD. PAINTED	
FIXT. FIXTURE	FG. FLAGE	
FL. FLASHING	FR. PAIR	
FLR. FLOOR	PNL. PANEL	
FD. FLOOR DRAIN	PRTN. PARTITION	
FLUOR. FLUORESCENT	P. PENNY	
FTG. FOOTING	PL. PLATE	
FND. FOUNDATION	PLBG. PLUMBING	
FR. FRAME	PLY.WD. PLYWOOD	
F.H.C. FIRE HOSE CAB.		

### PROJECT TEAM

#### ARCHITECTURE:

WAKEFIELD BEASLEY & ASSOCIATES  
208 FONTE VEDRA PARK DRIVE  
FONTE VEDRA BEACH, FLORIDA 32082

PHONE: 304.249.6565  
CONTACT: HOLLY GRIMES  
EMAIL: HGRIMES@WBAASSOCIATES.COM

#### BUILDER:

DREAMBUILDER CUSTOM HOMES, LLC  
905 MINERAL CREEK DRIVE  
JACKSONVILLE, FLORIDA 32205

PHONE: 304.612.6346  
CONTACT: SHAWN STARR  
EMAIL: SHAWN@YOURDREAMBUILDER.COM

#### STRUCTURAL:

LOU PONTIGO & ASSOCIATES, INC.  
420 OSCEOLA AVENUE  
JACKSONVILLE BEACH, FL 32250

PHONE: 304.242.0900  
FAX: 304.241.9551  
CONTACT: LOU PONTIGO  
EMAIL: LOU@LPA.COM

#### SURVEYOR:

(UNDER SEPERATE CONTRACT)  
RICHARD A. MILLER & ASSOCIATES  
6701 BEACH BLVD, SUITE 1200  
JACKSONVILLE, FLORIDA 32216

PHONE: 304.721.5758  
FAX: 304.721.1228  
CONTACT: BILL MELROSE  
EMAIL: BMELROSE@RICHARDAMILLER.COM

### CODE REVIEW

#### APPLICABLE CODES

2010 FLORIDA BUILDING CODE, RESIDENTIAL  
2008 NATIONAL ELECTRIC CODE  
2010 FLORIDA FIRE PREVENTION CODE  
CURRENT JACKSONVILLE BEACH LAND DEVELOPMENT CODE

#### GENERAL CODE INFORMATION:

OCCUPANCY: R-3  
CONSTRUCTION TYPE: VB - WOOD FRAME CONSTRUCTION  
HEIGHT LIMITATION: 35' FROM CROWN OF ROAD TO MEAN ROOF HEIGHT  
WIND SPEED: LESS THAN 130 MPH  
WIND-BORNE DEBRIS REGION: NO

#### GENERAL CODE RELATED NOTES:

- A/C COMPRESSORS SHALL BE A MINIMUM OF 5' FROM PROPERTY LINE.
- 5/8" TYPE X GYPSUM BOARD CEILING IS REQUIRED TO SEPARATE GARAGE FROM ROOM ABOVE. THE REMAINDER OF THE RESIDENCE SHALL BE SEPARATED BY A MINIMUM OF 1/2" GYPSUM WALLBOARD.
- DOOR TO INTERIOR FROM THE GARAGE SHALL BE 20 MIN. FIRE RATED.
- CARBON DIOXIDE DETECTORS ARE REQUIRED WITHIN 10' OF SLEEPING ROOMS.
- SMOKE ALARMS SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA WITHIN THE IMMEDIATE VICINITY OF THE BEDROOM.
- THESE DESIGN PLANS ARE IN COMPLIANCE WITH STANDARDS ESTABLISHED IN SECTION 62B-33.001 FAC.

### GENERAL NOTES

- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN BY THESE DRAWINGS.
- ANY AND ALL REVISIONS FROM THESE PLANS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ONCE CONSTRUCTION HAS COMMENCED, ANY REVISIONS IN THE FIELD MUST BE APPROVED BY THE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL ON-SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS PRIOR TO CONSTRUCTION.
- NO STRUCTURE OF ANY KIND IS TO BE CONSTRUCTED ON, OR PLACED WITHIN PUBLIC UTILITY EASEMENTS EXCEPT WOOD WIRE OR REMOVABLE SECTION TYPE FENCING. REQUIRED PAVING FOR ACCESS GROUND COVER INCLUDING GRASS. CONTRACTOR SHALL BE REQUIRED TO REPLACE ANY OBSTRUCTIONS OR PLANTING THAT MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION OR RECONSTRUCTION OF THE PUBLIC UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND SCHEDULING OF ALL INSPECTIONS AND TESTS INDICATED ON THE PLANS AND SPECIFICATIONS RECOMMENDED BY THE SOILS REPORT AND/OR REQUIRED BY ANY GOVERNMENTAL AGENCY.
- SHOP DETAILS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION ON ITEMS REGARDING SUCH.
- THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES REGULATIONS AND LAWFUL ORDERS OF THE PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- ANY AND ALL REVISIONS FROM THESE PLANS MUST BE APPROVED BY SEPERATE PERMITS AND ARE REQUIRED FOR BUT NOT LIMITED TO STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL.
- ALL MILLWORK AND INTERIOR TRIM CARPENTRY REPRESENTED HEREIN IS STRICTLY REPRESENTATIONAL. FINAL DESIGN FOR ALL SUCH ELEMENTS SHALL BE SPECIFIED BY THE BUILDER.

### DRAWING INDEX

NO.	SHEET TITLE
12/20/2012	100% PERMIT ISSUE (JAX BEACH)
09/20/2012	100% PERMIT ISSUE (DEEP)
09/09/2012	100% PRICING DOCUMENTS
06/07/2012	90% CD SET
06/02/2012	30% CD SET
06/03/2012	DD PROGRESS SET

#### DRAWING LOG LEGEND

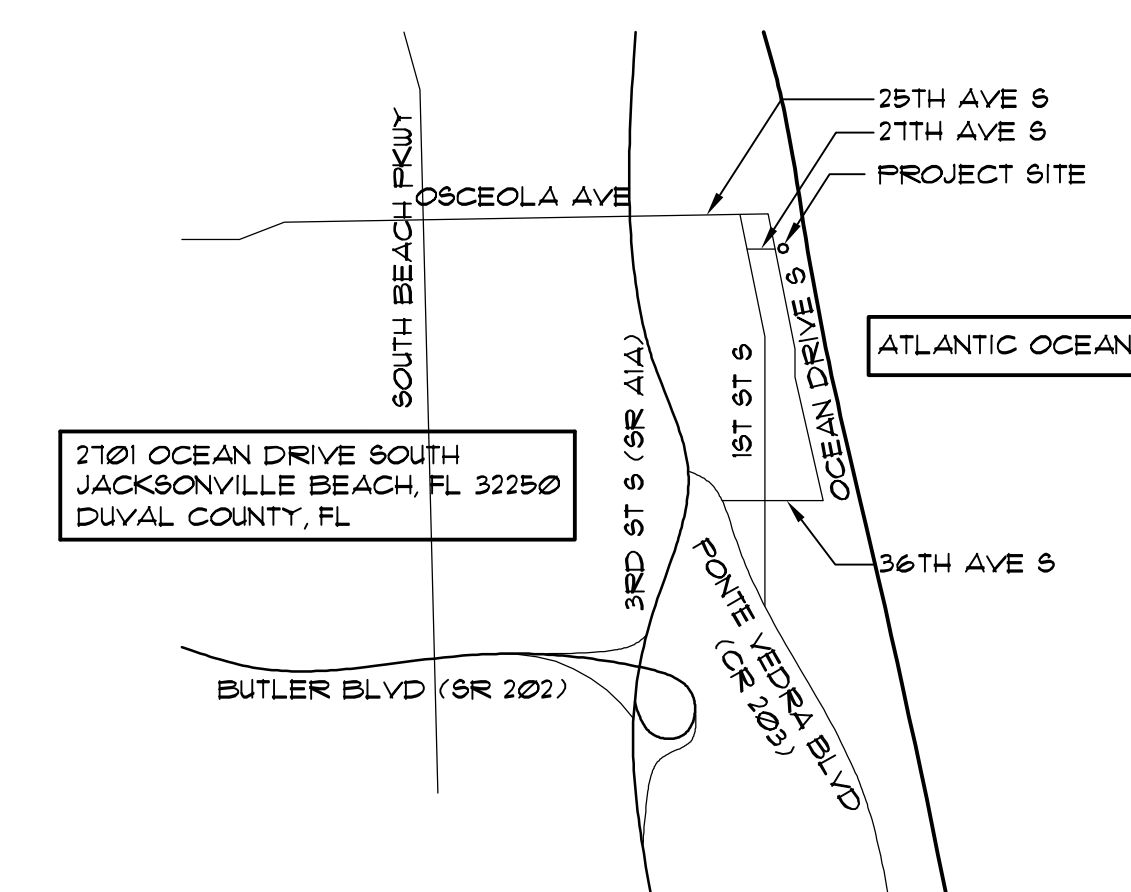
- SHEET ISSUED FOR CURRENT SUBMITTAL/REVISION
- SHEET ISSUED WITH NO REVISIONS FROM PREVIOUS SUBMITTAL OR REVISION

#### NO. SHEET TITLE

#### ARCHITECTURAL

A000	COVER SHEET
A100	ARCHITECTURAL SITE PLAN
A210	FLOOR PLANS - LEVEL 1 + 2
A212	FLOOR PLANS - LEVEL 3
A220	REFLECTED CEILING PLANS - LEVEL 1 + 2 (NOT A PART OF FINAL CONSTRUCTION DOCUMENTS)
A222	REFLECTED CEILING PLANS - LEVEL 3
A230	ROOF PLAN
A240	LIGHTING + POWER PLANS - LEVEL 1 + 2
A242	LIGHTING + POWER PLANS - LEVEL 3
A300	EXTERIOR ELEVATIONS
A310	EXTERIOR ELEVATIONS
A400	BUILDING SECTIONS
A410	BUILDING SECTIONS
A420	WALL SECTIONS
A422	WALL SECTIONS
A600	STAIR DETAILS
A610	STAIR DETAILS
A700	MISC. DETAILS
A1000	DEP ARCHITECTURAL SITE PLAN + SECTION FOR DEP PERMIT PACKAGE ONLY (ON 24X36 4 8-1/2X11 SHEETS)

### PROJECT LOCATION



### SYMBOLS

ROOM NAME / ROOM NO.	SECTION NUMBER SHEET NUMBER	DETAIL NUMBER SHEET NUMBER
ELEVATION HEIGHT	ELEVATION NUMBER SHEET NUMBER	

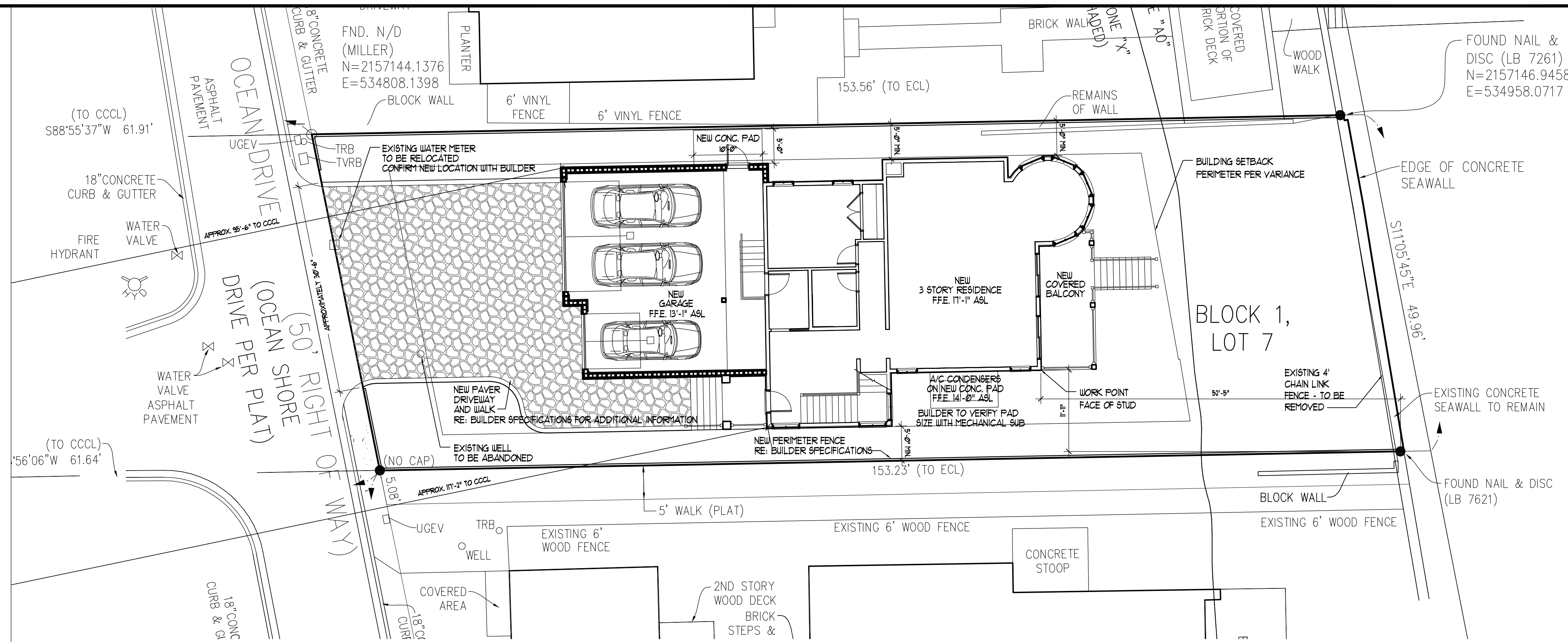
## 100% PERMIT ISSUE

### 20 December 2012

**NOTE**  
 BUILDER SHALL BE RESPONSIBLE FOR OBTAINING A SITE GRADING PLAN BY AN APPROPRIATELY LICENSED PARTY OUTSIDE THIS COVER AND CONTRACT. SAID GRADING PLAN SHALL ENSURE PROPER DRAINAGE AWAY FROM THE HOUSE AND AS OTHERWISE REQUIRED BY CODE WE RECOMMEND THE SITE GRADING BE DEVELOPED BY A CIVIL ENGINEER REGISTERED TO PRACTICE IN THE STATE OF FLORIDA AND FAMILIAR WITH OCEANFRONT GRADING.

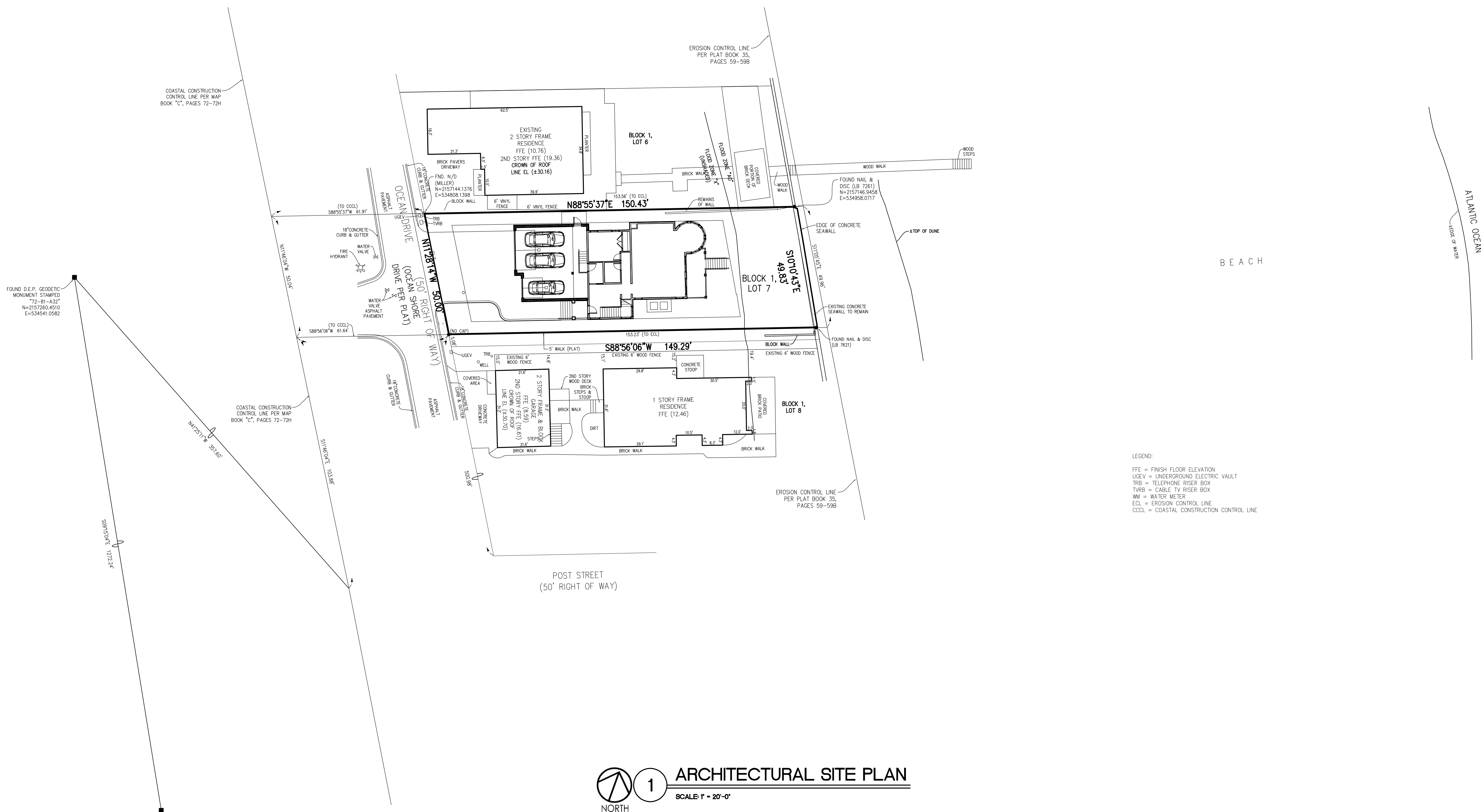
**GENERAL SITE NOTES**

1. ALL MATERIALS AND SITE WORK SHALL CONFORM TO THE LATEST GOVERNING BUILDING CODES, ORDINANCES AND REGULATIONS.
2. ALL GRADING WORK SHALL CONFORM TO ALL LOCAL REGULATIONS AND ORDINANCES.
3. IN NO CASE SHALL ANY SURFACE SOILS, FILL MATERIALS OR BACK FILL BE WATER SETTLED WITHOUT WRITTEN AUTHORIZATION OF THE SOILS ENGINEER.
4. ALL UTILITY TRENCHES REQUIRING EASEMENTS SHALL NOT BE BACKFILLED UNTIL SURVEYED.
5. FIELD VERIFY ALL ELEVATIONS, FLOW LINES, EXISTING CONDITIONS AND POINTS OF CONNECTION WITH ADJOINING PROPERTY. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
6. PROVIDE AND ADJUST TO FINISHED GRADE OR FINISHED SURFACE ALL CLEAN OUTS, PULL BOX COVERS AND OTHER UTILITY ITEMS INTENDED TO BE FLUSH WITH ADJACENT SURFACES.
7. VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS AS THEY MAY NOT BE INDICATED ON THE PLANS.
8. MAKE CONNECTIONS TO AND CONTINUE ALL SITE UTILITIES INTO THE BUILDING.
9. COORDINATE THIS PLAN WITH THE SURVEYING AND STRUCTURAL ENGINEERING DOCUMENTS (UNDER SEPARATE CONTRACT AND SEPARATE COVER).
10. THE GENERAL CONTRACTOR SHALL VERIFY EXACT LOCATION OF TRANSFORMER, COORDINATE LOCATION, NUMBER OF CONDUITS, SIZE OF CONDUITS, ETC. WITH LOCAL ELECTRIC COMPANY.
11. ADDRESS NUMBERS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR AT THE FRONT ENTRANCE OF THE BUILDING AS REQUIRED BY THE LOCAL AUTHORITY.



**2 ENLARGED ARCHITECTURAL SITE PLAN**  
 SCALE 1" = 10'-0"  
 NORTH

**MISC. NOTES**  
 1. BUILDER TO LOCATE WATER & SEWER CONNECTION



**1 ARCHITECTURAL SITE PLAN**  
 SCALE 1" = 20'-0"  
 NORTH

**WAKEFIELD BEASLEY & ASSOCIATES**

**ARCHITECTS INTERIORS**  
 Jacksonville Office:  
 208 Paula Fedra Park Drive  
 Paula Fedra Beach, Florida 32082  
 904 245 6565 TELEPHONE  
 904 245 6564 FAX

**DREAMBUILDER OCEANFRONT RESIDENCE**  
 for  
**MATT & ALEXIS KANE**

2701 Ocean Drive South  
 Jacksonville Beach, Florida

Owner:  
**Matt & Alexis Kane**

Builder:  
**Dreambuilder Custom Homes, LLC**  
 905 Mineral Creek Drive  
 Jacksonville, Florida 32225  
 T: 904.612.6946

2012, Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 20 DECEMBER 2012  
 Job No: 1204009000  
 Sheet Title

**ARCHITECTURAL SITE PLAN**

Sheet No.

**A1.1.1**

**PERMIT ISSUE**

**SITE & LOT COVERAGE STATISTICS**

ZONING RS-1

PER BOARD OF ADJUSTMENT CASE # B04 11-00038  
 FRONT YARD SET BACK WAS REDUCED TO 10' IN LIEU OF 25' REQUIREMENT  
 SIDE YARD SET BACK WAS REDUCED TO 5' IN LIEU OF 10' REQUIREMENT  
 LOT COVERAGE WAS INCREASED TO 50% FROM 35% REQUIREMENT

LOT AREA = 816 SF  
 IMPERVIOUS AREA OF LOT = 3852 SF  
 LOT COVERAGE = 47% ±



DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 20 DECEMBER 2012  
Job No: 12040000000

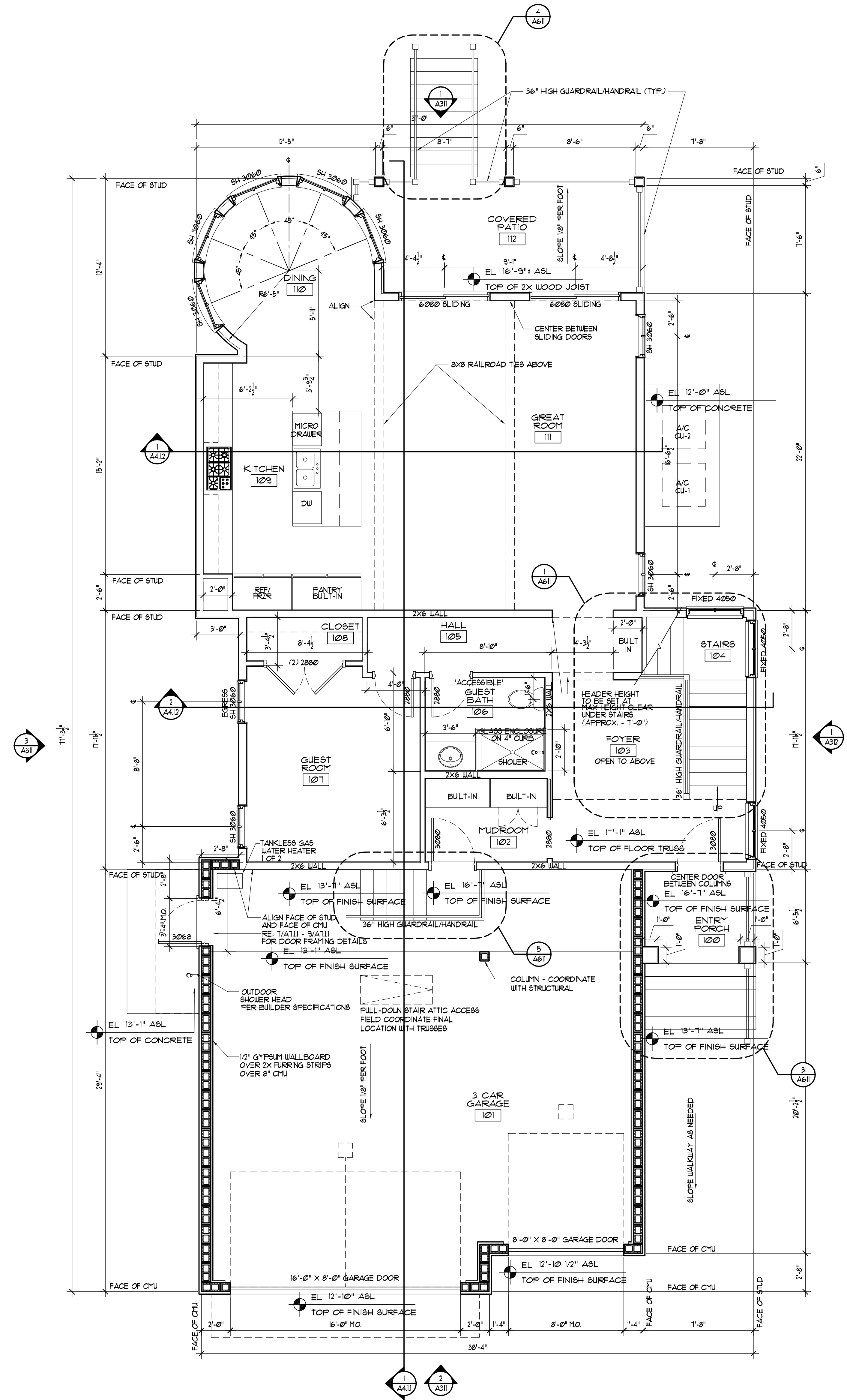
Sheet Title

FLOOR PLANS  
LEVEL 1 + 2

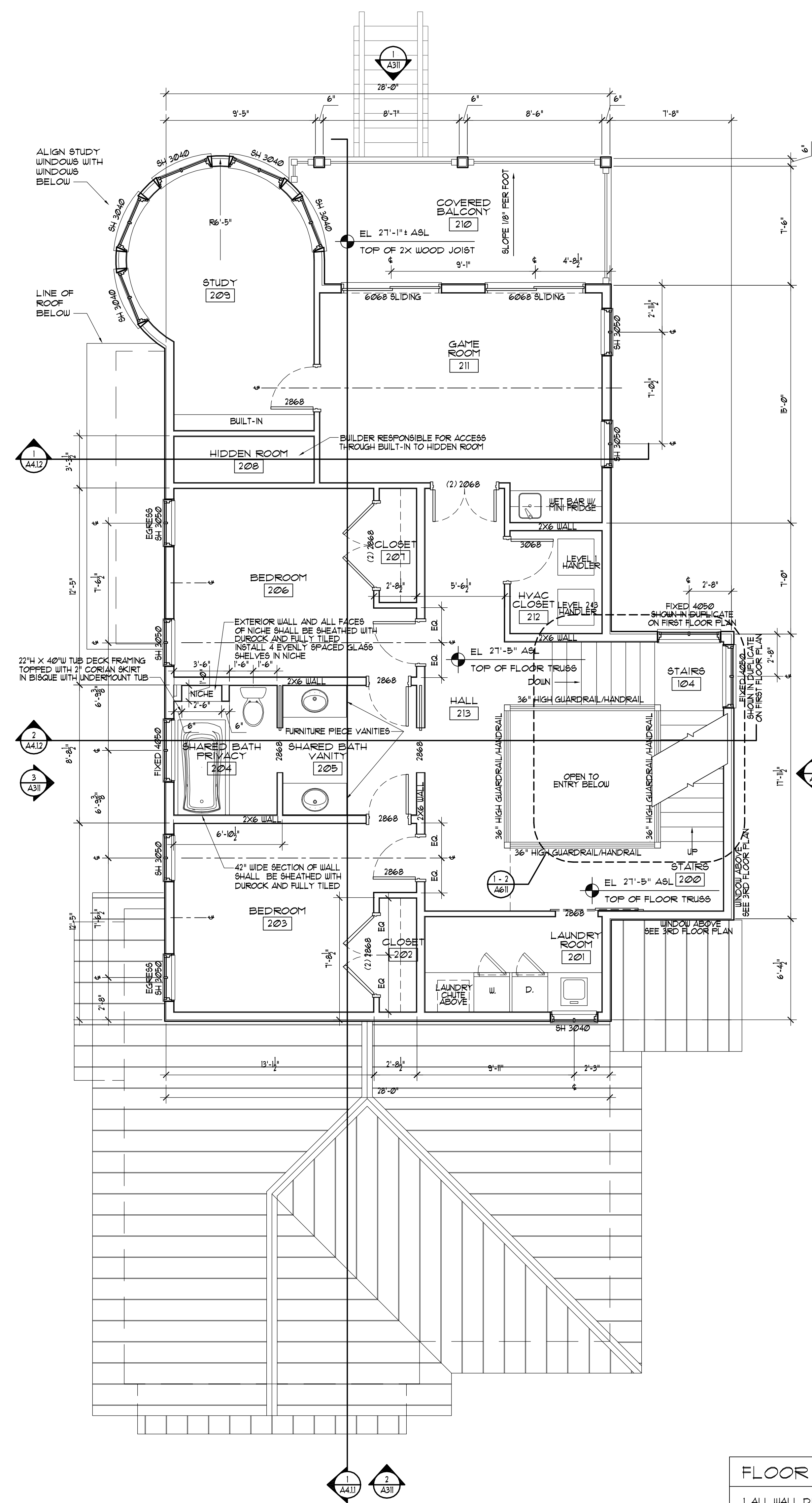
Sheet No.

A2.11

PERMIT ISSUE



1 FIRST FLOOR  
SCALE 1/4" = 1'-0"  
NORTH



2 SECOND FLOOR  
SCALE 1/4" = 1'-0"  
NORTH

FLOOR PLAN NOTES

1. ALL WALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CMU, UNLESS OTHERWISE NOTED
2. ALL EXTERIOR WALLS SHALL BE 2X6 UNLESS OTHERWISE NOTED
3. TURTLE-FRIENDLY GLASS TO BE USED FOR ALL NEW WINDOWS AND DOORS

AREA CALCULATIONS

1ST LEVEL CONDITIONED	1403 SF
2ND LEVEL CONDITIONED	1322 SF
3RD LEVEL CONDITIONED	121 SF
GARAGE	872 SF
BALCONIES	311 SF
FRONT PORCH	51 SF
GROSS CONDITIONED	3452 SF
GROSS UNDER ROOF	4752 SF

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 20 DECEMBER 2012 Job No: 1204009.000

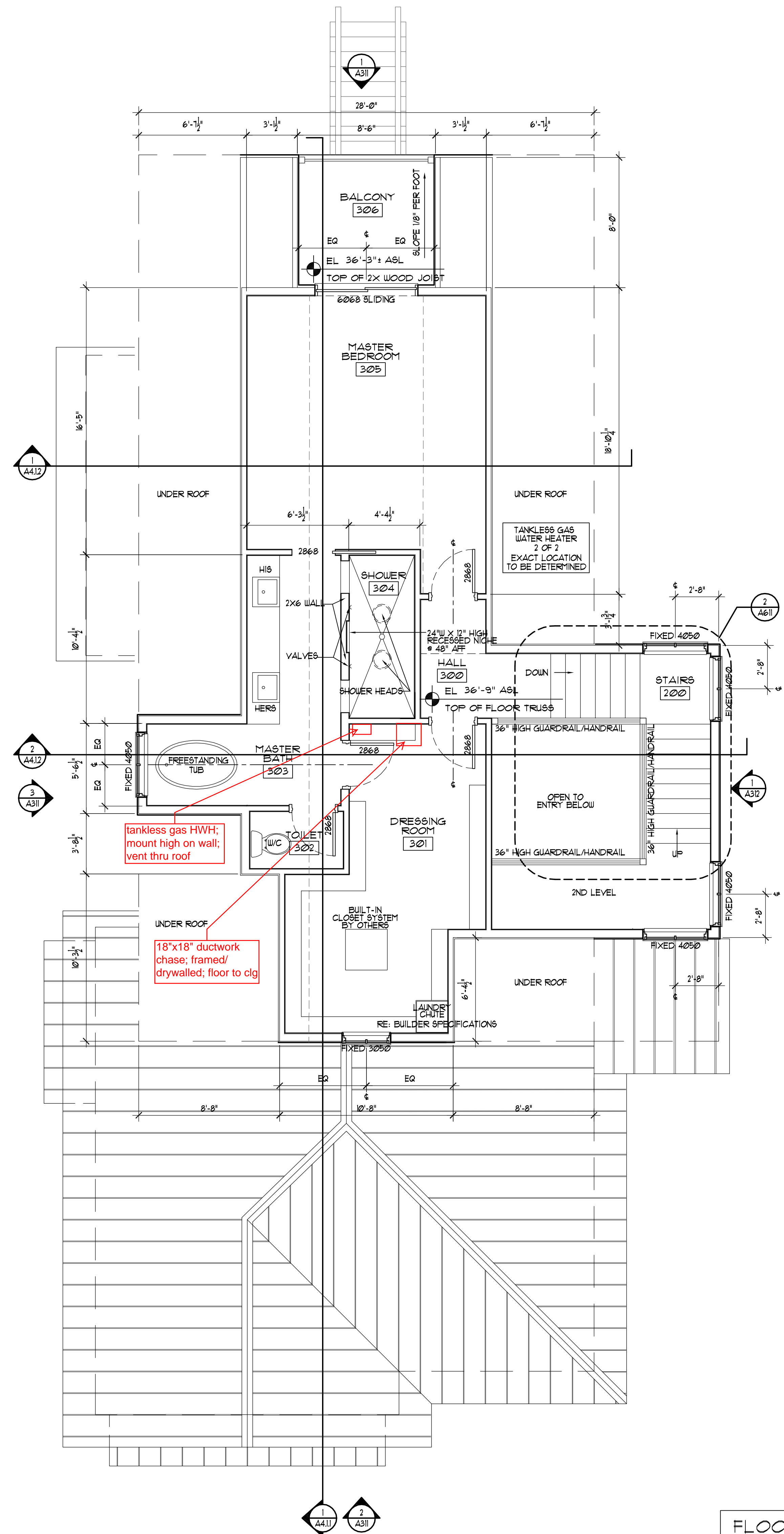
Sheet Title

FLOOR PLANS  
LEVEL 3

Sheet No.

A2.1.2

PERMIT ISSUE



1 THIRD FLOOR  
SCALE 1/4" = 1'-0"  
NORTH

FLOOR PLAN NOTES

1. ALL WALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CMU, UNLESS OTHERWISE NOTED
2. ALL EXTERIOR WALLS SHALL BE 2X6 UNLESS OTHERWISE NOTED
3. TURTLE-FRIENDLY GLASS TO BE USED FOR ALL NEW WINDOWS AND DOORS

AREA CALCULATIONS

1ST LEVEL CONDITIONED	1403 SF
2ND LEVEL CONDITIONED	1322 SF
3RD LEVEL CONDITIONED	121 SF
GARAGE	872 SF
BALCONIES	311 SF
FRONT PORCH	51 SF
GROSS CONDITIONED	3452 SF
GROSS UNDER ROOF	4752 SF

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

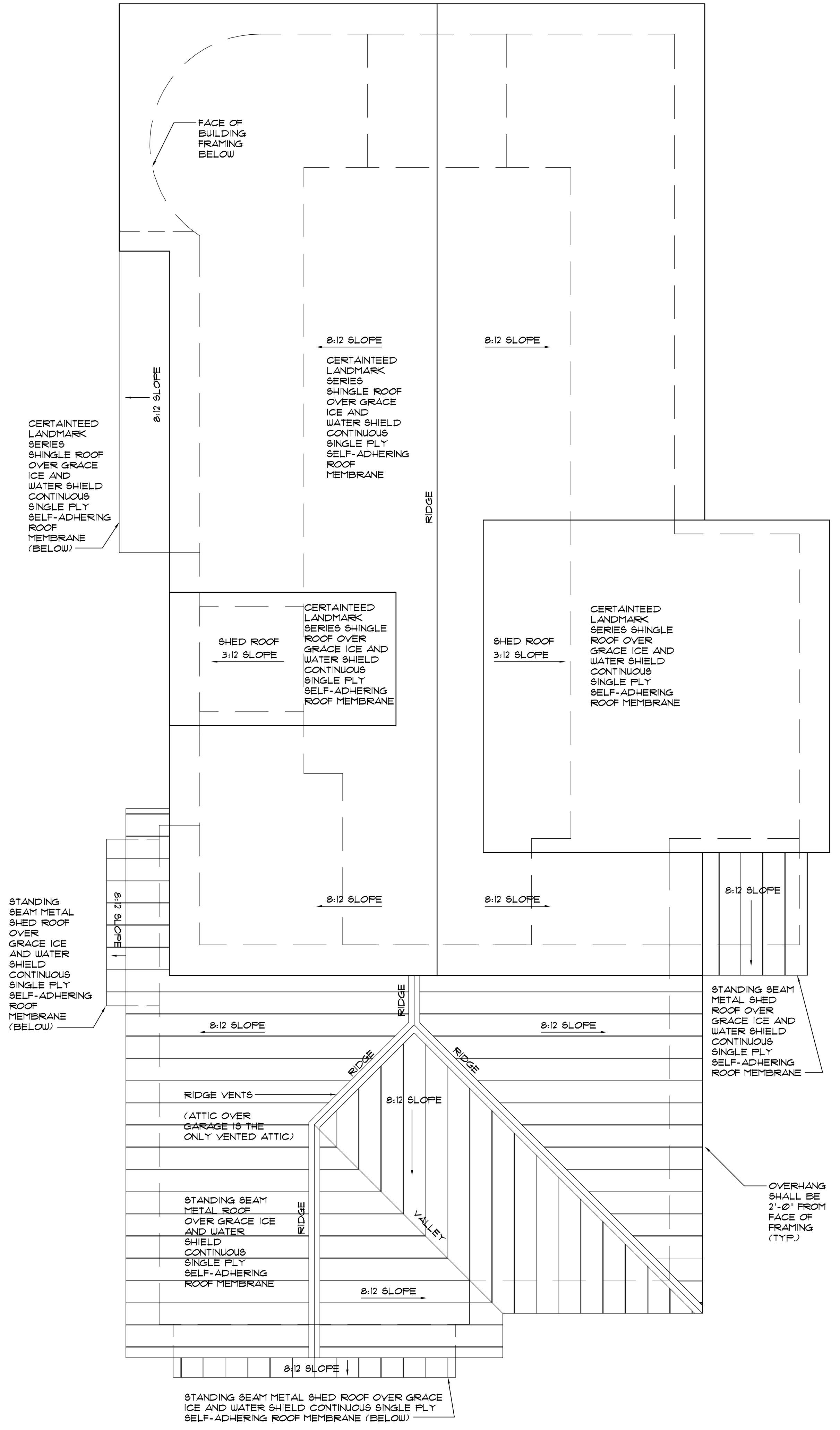
Revisions

Date: 20 DECEMBER 2012 Job No: 1204008000  
Sheet Title

ROOF PLAN

Sheet No. A2.3.1

PERMIT ISSUE



**1** ROOF PLAN  
SCALE 1/4" = 1'-0"  
NORTH



DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

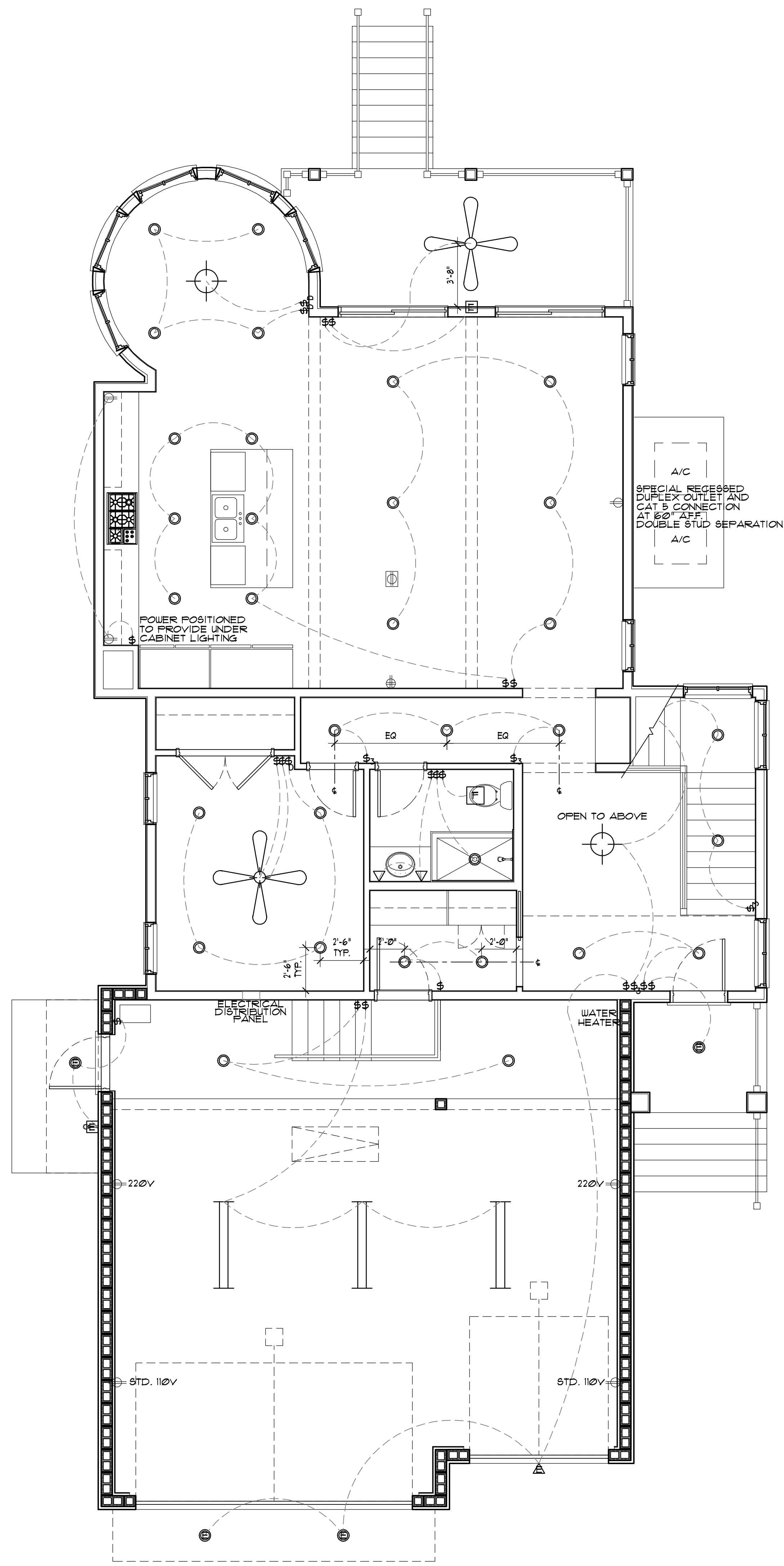
Date: 20 DECEMBER 2012  
Job No: 1204000000

LIGHTING + POWER  
PLANS  
LEVEL 1 + 2

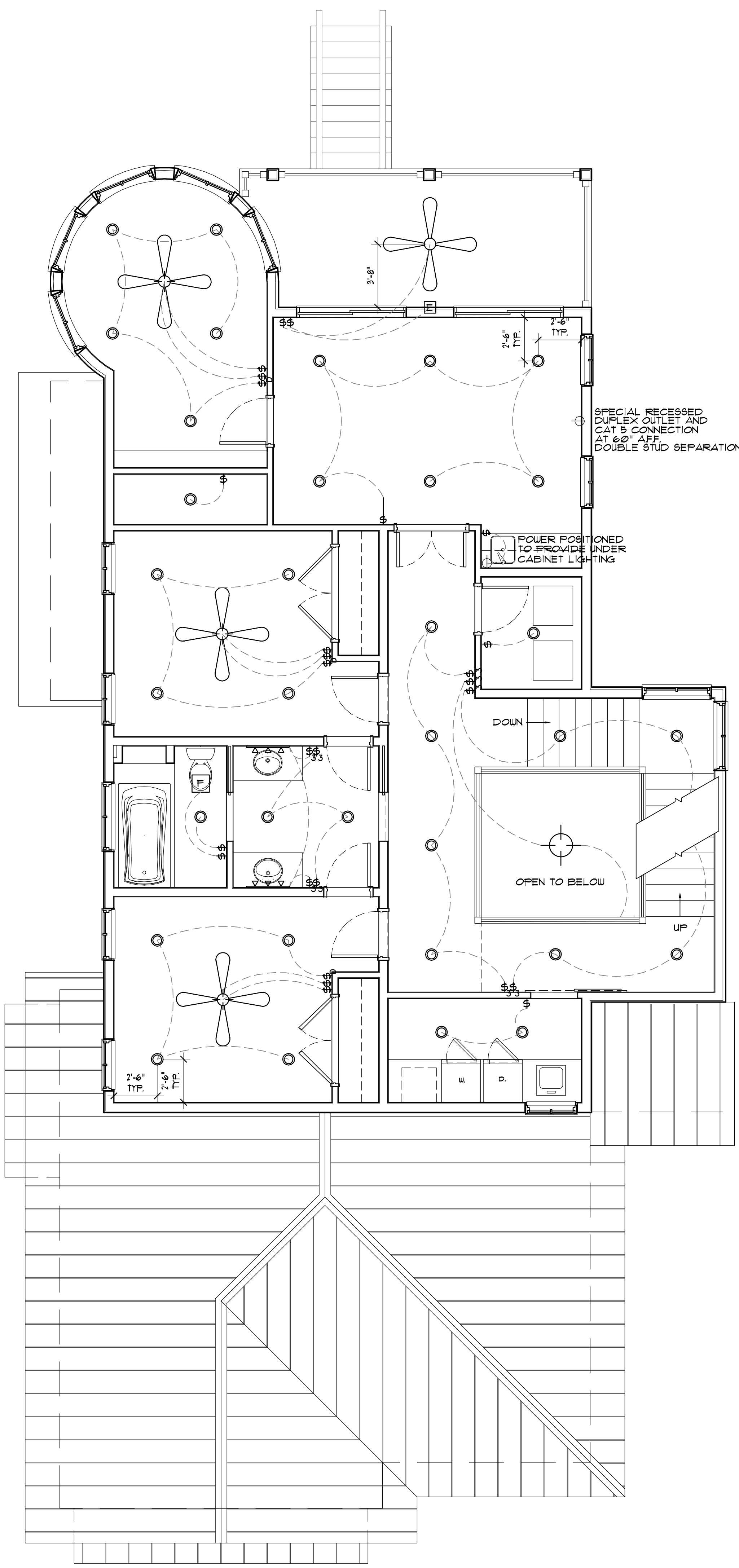
Sheet Title

A2.4.1

PERMIT ISSUE



1  
FIRST FLOOR  
LIGHTING PLAN  
SCALE 1/4" = 1'-0"  
NORTH



2  
SECOND FLOOR  
LIGHTING PLAN  
SCALE 1/4" = 1'-0"  
NORTH

NOTES

1. ALL POWER OUTLETS SHALL BE INSTALLED IN THE QUANTITY, STYLE AND SPACING REQUIRED BY CODE AS A MINIMUM. OUTLETS SHOWN ARE SPECIFIC OWNER REQUESTS AND SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO WHAT IS SHOWN WHILE ENSURING CODE COMPLIANCE.
2. POWER OUTLETS TO BE GFI WHERE REQUIRED BY CODE.
3. ALL EXTERIOR LIGHTING SHALL USE AMBER LAMPING AND BE DESIGNED AS SEA-TURTLE FRIENDLY.
4. ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH 2011 NEC. PROVIDE ARC-FAULT CIRCUIT INTERRUPTERS IN ACCORDANCE WITH 210.12 (B).

ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ 4-FLEX
- ⊕ NEW FLOOR MOUNTED DUPLEX OUTLET
- ⊕ NEW JUNCTION BOX

INTERIOR LIGHTING LEGEND

- ⊕ SINGLE POLE 2-WAY SWITCH
- ⊕ SINGLE POLE 3-WAY SWITCH
- ⊕ SWITCH WITH DIMMER
- RECESSED CAN LIGHT
- ⊕ SURFACE MOUNTED LIGHT
- ▷ WALL MOUNTED LIGHT
- △ VANIY BAR LIGHT
- ⊕ NEW CEILING FAN WITH LIGHT
- ⊕ NEW CEILING FAN NO LIGHT

EXTERIOR LIGHTING LEGEND

SYMBOL	FIXTURE	QTY	LUMENS OUTPUT	TYPE	TYPE OF MOUNT	MOUNT HT	LOCATION
⊕	LED R20 AMBER SPOT TURTLE LIGHT L56-000028 (6" HOUSING)	(1)	LED AMBER 5.8 WATTS	CEILING RECESS	9" AFF	AT FRONT PORCH	
⊕	LED AMBER 5.8 WATTS CEILING RECESS	(1)	LED AMBER 5.8 WATTS	CEILING RECESS	9" AFF	AT SIDE SERVICE DOOR	
⊕	LED AMBER 5.8 WATTS CEILING RECESS	(2)	LED AMBER 5.8 WATTS	CEILING RECESS	9" AFF	AT DOUBLE CAR GARAGE	
▷	AMERITEC SCONCE ATL-990-PAR	(1)	LED AMBER PAR 20	WALL SURFACE	10" AFF	AT SINGLE CAR GARAGE	
⊕	BRUCK LEDIRA STEP LIGHT LED, HORIZ LOUVER	(1)	LED AMBER 2 WATTS	WALL RECESS	24" AFF	AT OUTSIDE SHOWER	
⊕	LED AMBER 2 WATTS WALL RECESS	(4)	LED AMBER 2 WATTS	WALL RECESS	12" AFF	AT REAR BALCONIES	

NOTE: ALL EXTERIOR LIGHTING SHALL UTILIZE A WATERPROOF HOUSING DESIGNED FOR EXTERIOR USE

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

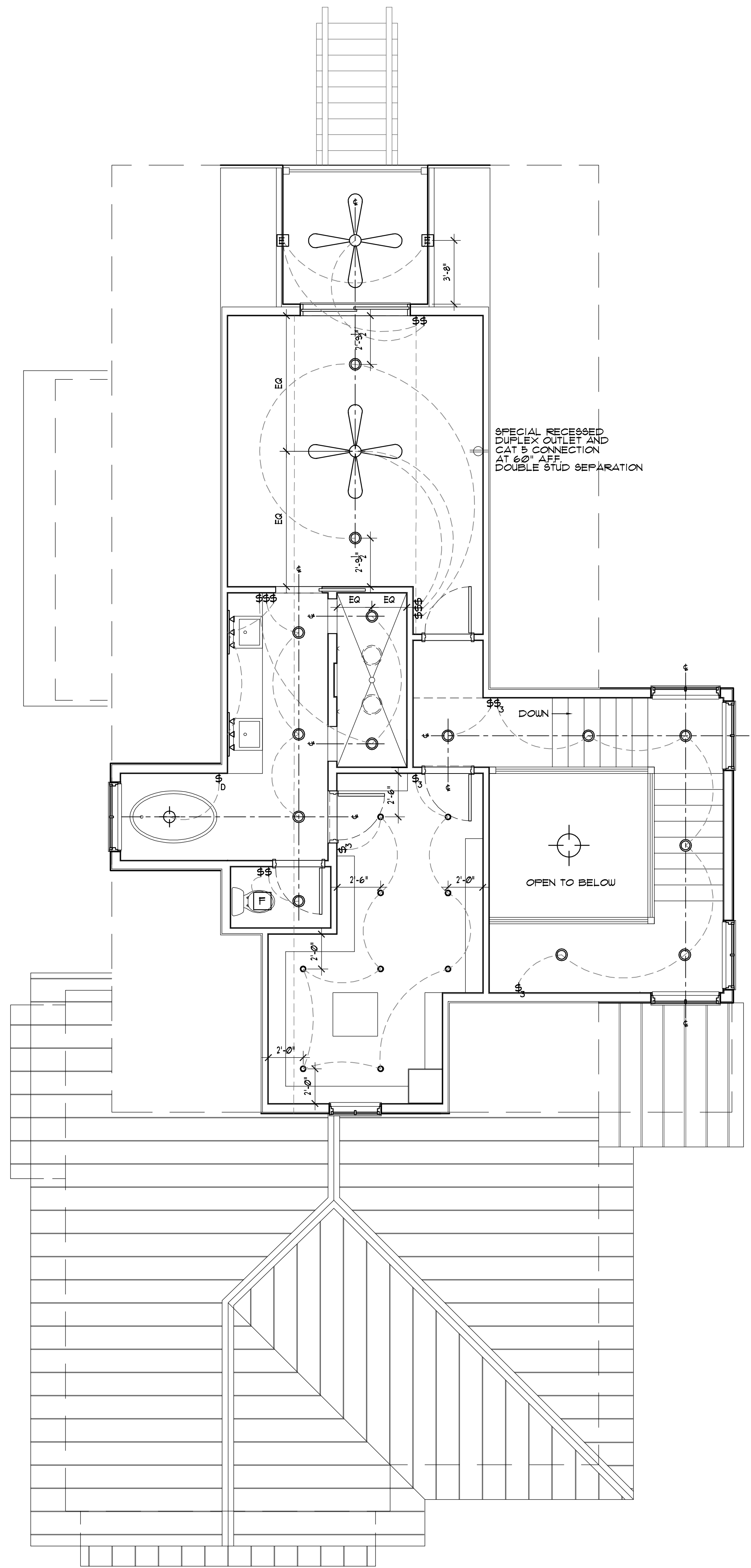
Date: 20 DECEMBER 2012 Job No: 1204009.000

Sheet Title  
LIGHTING + POWER  
PLANS  
LEVEL 3

Sheet No.

A2.4.2

PERMIT ISSUE



1  
THIRD FLOOR  
LIGHTING PLAN  
SCALE: 1/4" = 1'-0"  
NORTH

NOTES

1. ALL POWER OUTLETS SHALL BE INSTALLED IN THE QUANTITY, STYLE AND SPACING REQUIRED BY CODE AS A MINIMUM. OUTLETS SHOWN ARE SPECIFIC OWNER REQUESTS AND SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO WHAT IS SHOWN WHILE ENSURING CODE COMPLIANCE.
2. POWER OUTLETS TO BE GFI WHERE REQUIRED BY CODE.
3. ALL EXTERIOR LIGHTING SHALL USE AMBER LAMPING AND BE DESIGNED AS SEA-TURTLE FRIENDLY.
4. ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH NEC. PROVIDE ARC-FAULT CIRCUIT INTERRUPTERS IN ACCORDANCE WITH 210.12 (B).

ELECTRICAL LEGEND

- ⊕ DUPLEX OUTLET
- ⊕ 4-FLEX
- ⊕ NEW FLOOR MOUNTED DUPLEX OUTLET
- ⊕ NEW JUNCTION BOX

INTERIOR LIGHTING LEGEND

- Ⓢ SINGLE POLE 2-WAY SWITCH
- Ⓢ<sub>3</sub> SINGLE POLE 3-WAY SWITCH
- Ⓢ<sub>D</sub> SWITCH WITH DIMMER
- RECESSED CAN LIGHT
- ⊕ SURFACE MOUNTED LIGHT
- ▷ WALL MOUNTED LIGHT
- ▷ VANITY BAR LIGHT
- ⊕ NEW CEILING FAN WITH LIGHT
- ⊕ NEW CEILING FAN NO LIGHT

EXTERIOR LIGHTING LEGEND

SYMBOL	FIXTURE	QTY	LUMENS OUTPUT	TYPE	TYPE OF MOUNT	MOUNT HT	LOCATION
⊕	LED R20 AMBER SPOT TURTLE LIGHT L5G-000028 (6" HOUSING)	(1)	LED AMBER 5.8 WATTS	CEILING RECESS	9" AFF	AT FRONT PORCH	
		(1)	LED AMBER 5.8 WATTS	CEILING RECESS	9" AFF	AT SIDE SERVICE DOOR	
		(2)	LED AMBER 5.8 WATTS	CEILING RECESS	9" AFF	AT DOUBLE CAR GARAGE	
▷	AMERITEC 800NCE ATL-950-PAR	(1)	LED AMBER PAR 20	WALL SURFACE	10' AFF	AT SINGLE CAR GARAGE	
⊕	BRUCK LEDIRA STEP LIGHT LED, HORIZ LOUVER	(1)	LED AMBER 2 WATTS	WALL RECESS	24" AFF	AT OUTSIDE SHOWER	
		(4)	LED AMBER 2 WATTS	WALL RECESS	12" AFF	AT REAR BALCONIES	

NOTE: ALL EXTERIOR LIGHTING SHALL UTILIZE A WATERPROOF HOUSING DESIGNED FOR EXTERIOR USE

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

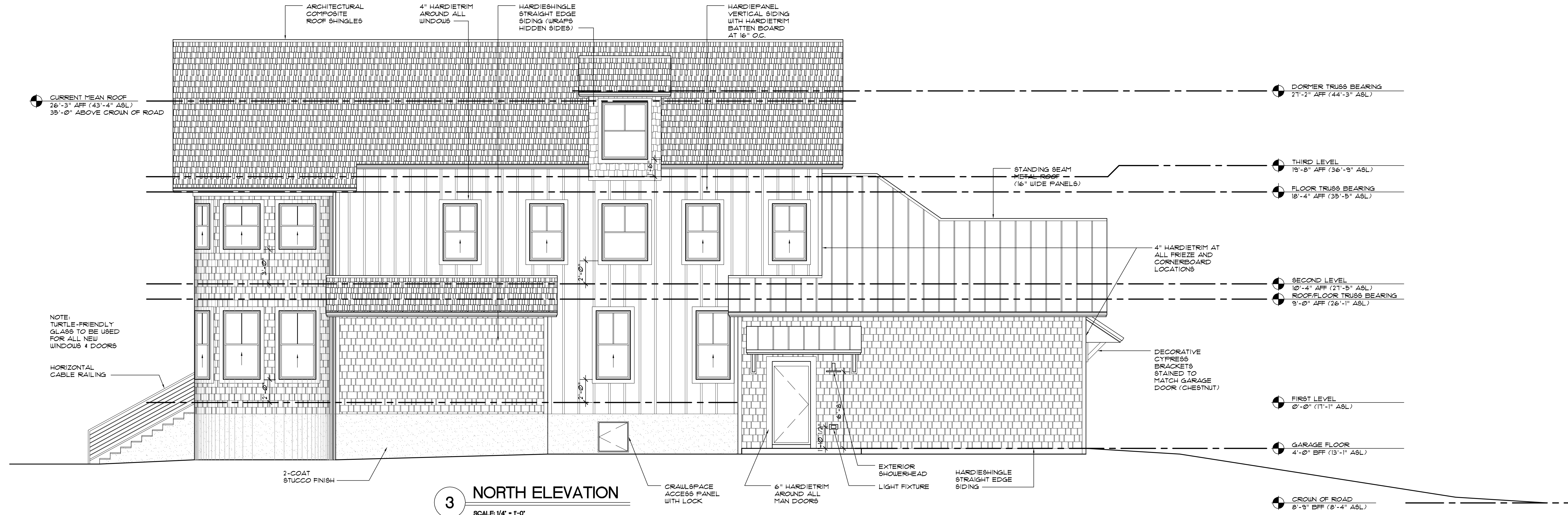
Date 20 DECEMBER 2012 Job No. 1204009000  
Sheet Title

EXTERIOR  
ELEVATIONS

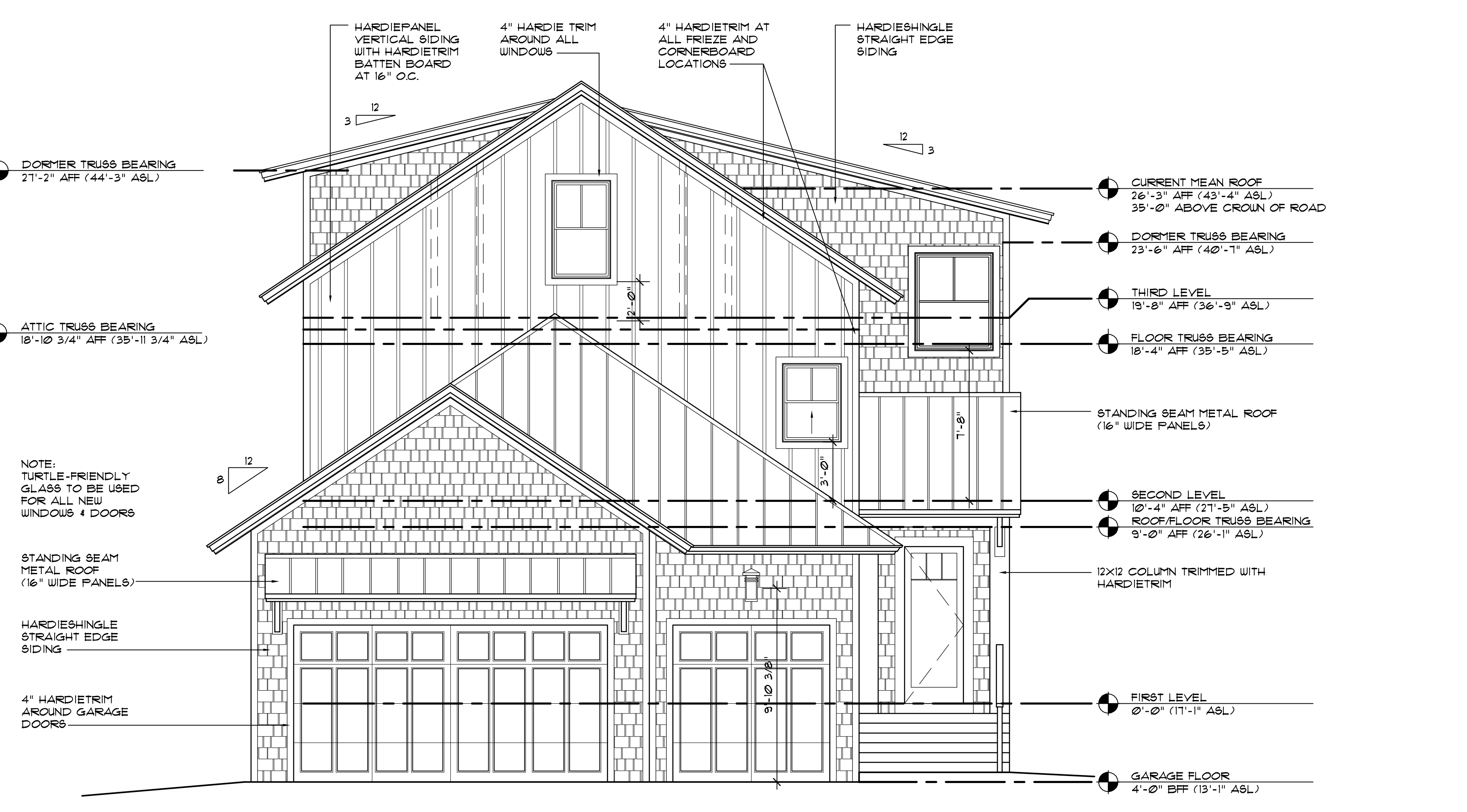
Sheet No.  
A3.11

PERMIT ISSUE

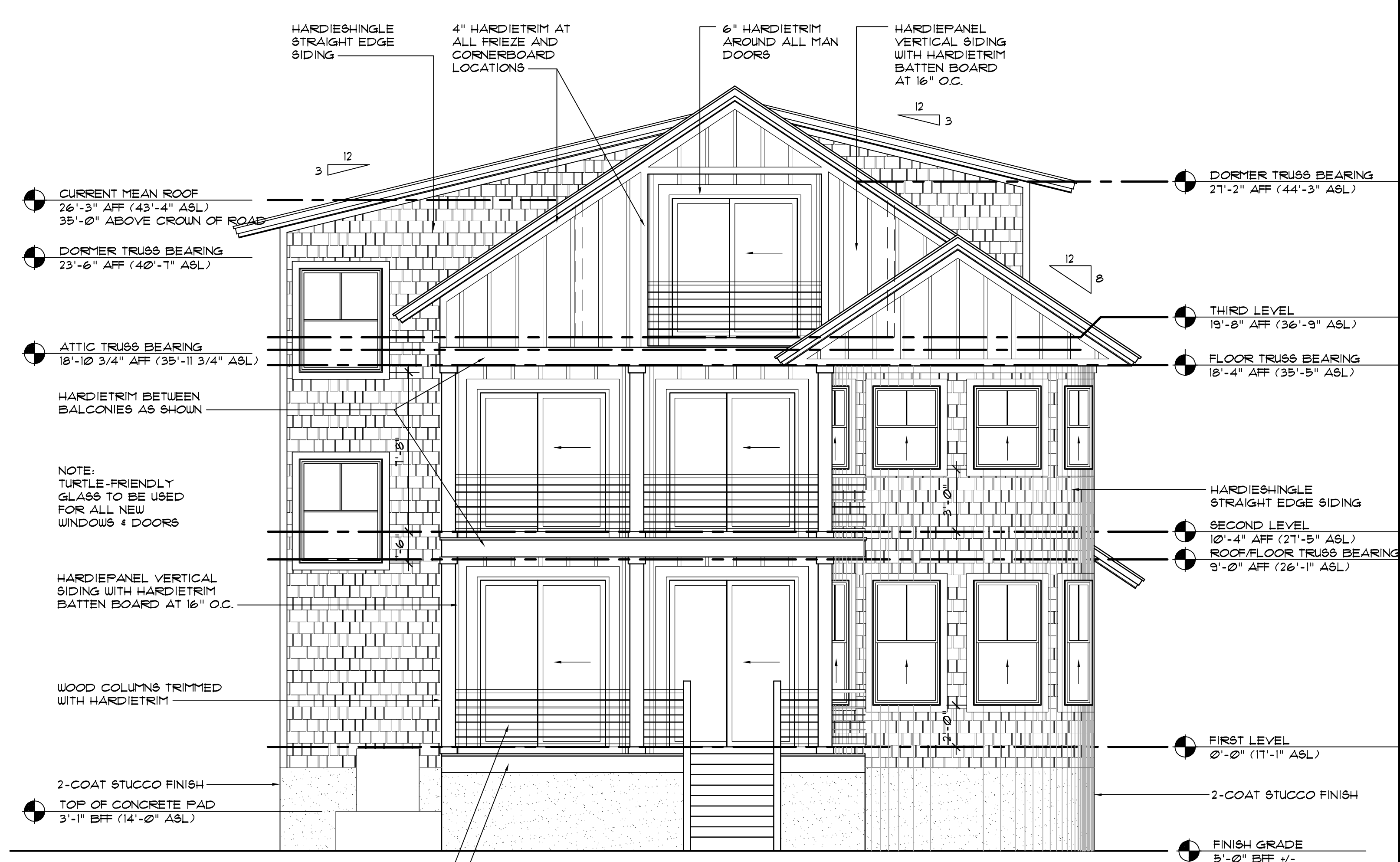
NOTE: LOUVERED VENTS SHALL BE INSTALLED AT THE CRAWL SPACE AS REQUIRED BY THE 2010 FLORIDA BUILDING CODE. RESIDENTIAL VENTILATION REQUIREMENTS LISTED IN THE CODE ARE MINIMUM FOR A VENTILATED CRAWL SPACE. VENTILATION EXCEEDING THE MINIMUM IS HIGHLY RECOMMENDED. IT IS ADDITIONALLY RECOMMENDED THAT THE CONTRACTOR INSTALL A CLASS 1 VAPOR RETARDER WITH 6" SEALED AND TAPED OVERLAPS AND 6" EXTENSIONS UP THE STEM WALL ATTACHED AND TAPED ALONG THE PERIMETER TO CURB HIGH MOISTURE LEVELS IN THE CRAWL SPACE WHICH CAN LEAD TO MOLD AND MILDEW GROWTH AND ROT THE EXPOSED WOOD UNDER THE HOME.



3 NORTH ELEVATION  
SCALE 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE 1/4" = 1'-0"



1 EAST ELEVATION  
SCALE 1/4" = 1'-0"



NOTE: LOUVERED VENTS SHALL BE INSTALLED AT THE CRAWL SPACE AS REQUIRED BY THE 2010 FLORIDA BUILDING CODE. RESIDENTIAL VENTILATION REQUIREMENTS LISTED IN THE CODE ARE MINIMUM FOR A VENTILATED CRAWL SPACE. VENTILATION EXCEEDING THE MINIMUM IS HIGHLY RECOMMENDED. IT IS ADDITIONALLY RECOMMENDED THAT THE CONTRACTOR INSTALL A CLASS 1 VAPOR RETARDER WITH 6" SEALED AND TAPED OVERLAPS AND 6" EXTENSIONS UP THE STEM WALL, ATTACHED AND TAPED ALONG THE PERIMETER TO CURB HIGH MOISTURE LEVELS IN THE CRAWL SPACE WHICH CAN LEAD TO MOLD AND MILDEW GROWTH AND ROT THE EXPOSED WOOD UNDER THE HOME.

WAKEFIELD  
BEASLEY &  
ASSOCIATES

ARCHITECTS INTERIORS  
Jacksonville Office:  
208 Ponte Vedra Park Drive  
Ponte Vedra Beach, Florida 32082  
904 245 6565 TELEPHONE  
904 245 6564 FAX

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE  
2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
**Matt & Alexis Kane**  
Builder:  
**Dreambuilder Custom Homes, LLC**  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

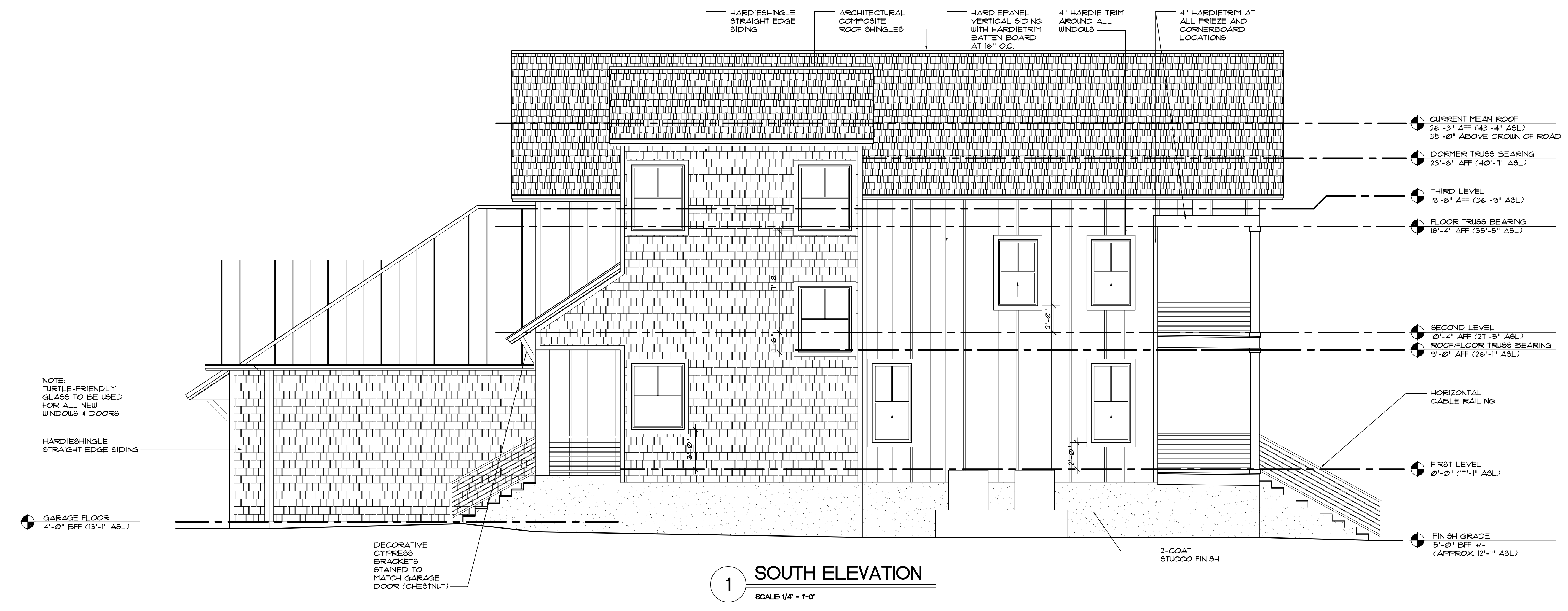
©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 20 DECEMBER 2012 Job No: 1204009000  
Sheet Title

EXTERIOR  
ELEVATIONS  
Sheet No. **A3.1.2**  
PERMIT ISSUE



**1 SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"

**GENERAL NOTES:**

1. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S BEST PRACTICE INSTALLATION INSTRUCTIONS.
2. THE BUILDER SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S DRAWING FOR DIRECTION ON HOW TO PROCEED.
3. THE BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL METALS WHICH WILL COME IN CONTACT WITH EACH OTHER OR WHICH WILL BE POSITIONED IN SUCH A WAY SO AS TO BE POTENTIALLY SUBJECT TO EXPOSURE TO THE SAME CONDUCTION SOLUTION TO EACH OTHER ARE "GALVANIC ALLY FRIENDLY" AND WILL NOT CAUSE GALVANIC ACTION TO DETERIORATE ANY ADJACENT METAL OR MATERIAL. IF USE OF DISSIMILAR METALS CAN NOT BE AVOIDED METALS SHOULD BE AS CLOSE TO EACH OTHER ON THE GALVANIC CHART AS POSSIBLE WITH THE ITEM OF THE LARGEST AREA BEING OF THE MORE ACTIVE METAL AND THE ITEM OF THE SMALLER AREA BEING OF THE MORE NOBLE METAL. ADDITIONALLY THEY SHOULD BE ELECTRICALLY INSULATED FROM ONE ANOTHER BY USE OF APPROPRIATE PAINTS, NEOPRENE OR OTHER WASHERS WHENEVER POSSIBLE.
4. ALL STRUCTURAL COMPONENTS SHOWN HEREIN ARE DIAGRAMMATIC AND BASED UPON THE ARCHITECT'S LIMITED UNDERSTANDING OF THE STRUCTURAL COMPOSITION OF THE HOME. THE BUILDER AND ALL SUB-CONTRACTORS SHALL REFER TO THE STRUCTURAL DRAWINGS (UNDER SEPARATE CONTRACT) & SEPARATE COVER FOR ALL STRUCTURAL ELEMENTS.

WAKEFIELD  
BEASLEY &  
ASSOCIATES

ARCHITECTS INTERIORS  
Jacksonville Office:  
200 Ponce Debra Park Drive  
Ponte Vedra Beach, Florida 32082  
904 245 6565 TELEPHONE  
904 245 6564 FAX

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012, Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

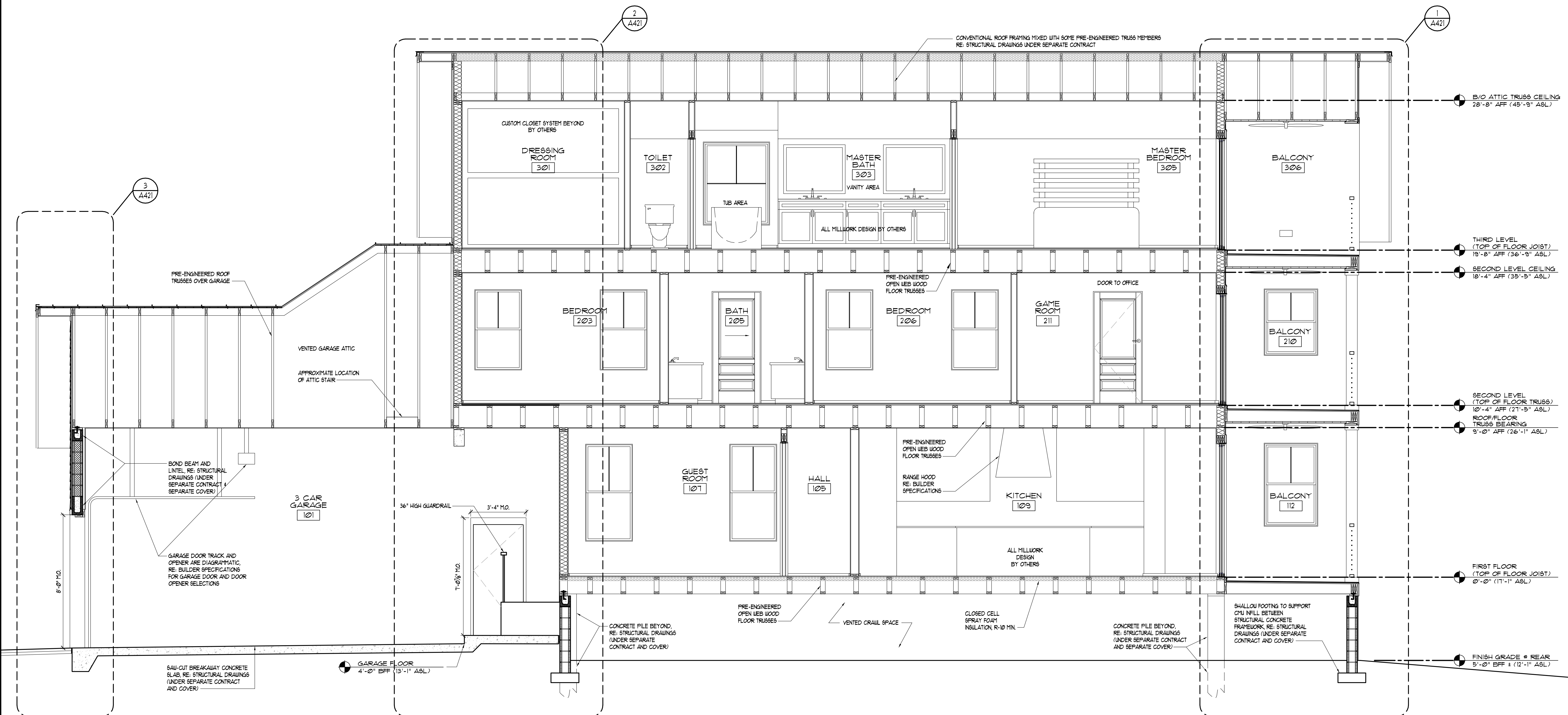
Date: 20 DECEMBER 2012 Job No: 1204009.000  
Sheet Title

BUILDING  
SECTION

Sheet No.

A4.11

PERMIT ISSUE



1 BUILDING SECTION  
SCALE 3/8" = 1'-0"



GENERAL NOTES:

1. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S BEST PRACTICE INSTALLATION INSTRUCTIONS.
2. THE BUILDER SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S DRAWING FOR DIRECTION ON HOW TO PROCEED.
3. THE BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL METALS WHICH WILL COME IN CONTACT WITH EACH OTHER OR WHICH WILL BE POSITIONED IN SUCH A WAY SO AS TO BE POTENTIALLY SUBJECT TO EXPOSURE TO THE SAME CONDUCTION SOLUTION TO EACH OTHER ARE "GALVANIC ALLY FRIENDLY" AND WILL NOT CAUSE GALVANIC ACTION TO DETERIORATE ANY ADJACENT METAL OR MATERIAL. IF USE OF DISSIMILAR METALS CAN NOT BE AVOIDED METALS SHOULD BE AS CLOSE TO EACH OTHER ON THE GALVANIC CHART AS POSSIBLE WITH THE ITEM OF THE LARGEST AREA BEING OF THE MORE ACTIVE METAL AND THE ITEM OF THE SMALLER AREA BEING OF THE MORE NOBLE METAL. ADDITIONALLY THEY SHOULD BE ELECTRICALLY INSULATED FROM ONE ANOTHER BY USE OF APPROPRIATE PAINTS, NEOPRENE OR OTHER WASHERS WHENEVER POSSIBLE.
4. ALL STRUCTURAL COMPONENTS SHOWN HEREIN ARE DIAGRAMMATIC AND BASED UPON THE ARCHITECT'S LIMITED UNDERSTANDING OF THE STRUCTURAL COMPOSITION OF THE HOME. THE BUILDER AND ALL SUB-CONTRACTORS SHALL REFER TO THE STRUCTURAL DRAWINGS (UNDER SEPARATE CONTRACT) & SEPARATE COVER FOR ALL STRUCTURAL ELEMENTS.

WAKEFIELD  
BEASLEY &  
ASSOCIATES

ARCHITECTS INTERIORS  
Jacksonville Office:  
200 Ponte Vedra Park Drive  
Ponte Vedra Beach, Florida 32082  
904 245 6565 TELEPHONE  
904 245 6564 FAX

DREAMBUILDER  
OCEANFRONT  
RESIDENCE  
for  
MATT & ALEXIS  
KANE

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012, Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 20 DECEMBER 2012  
Job No: 1204009.000

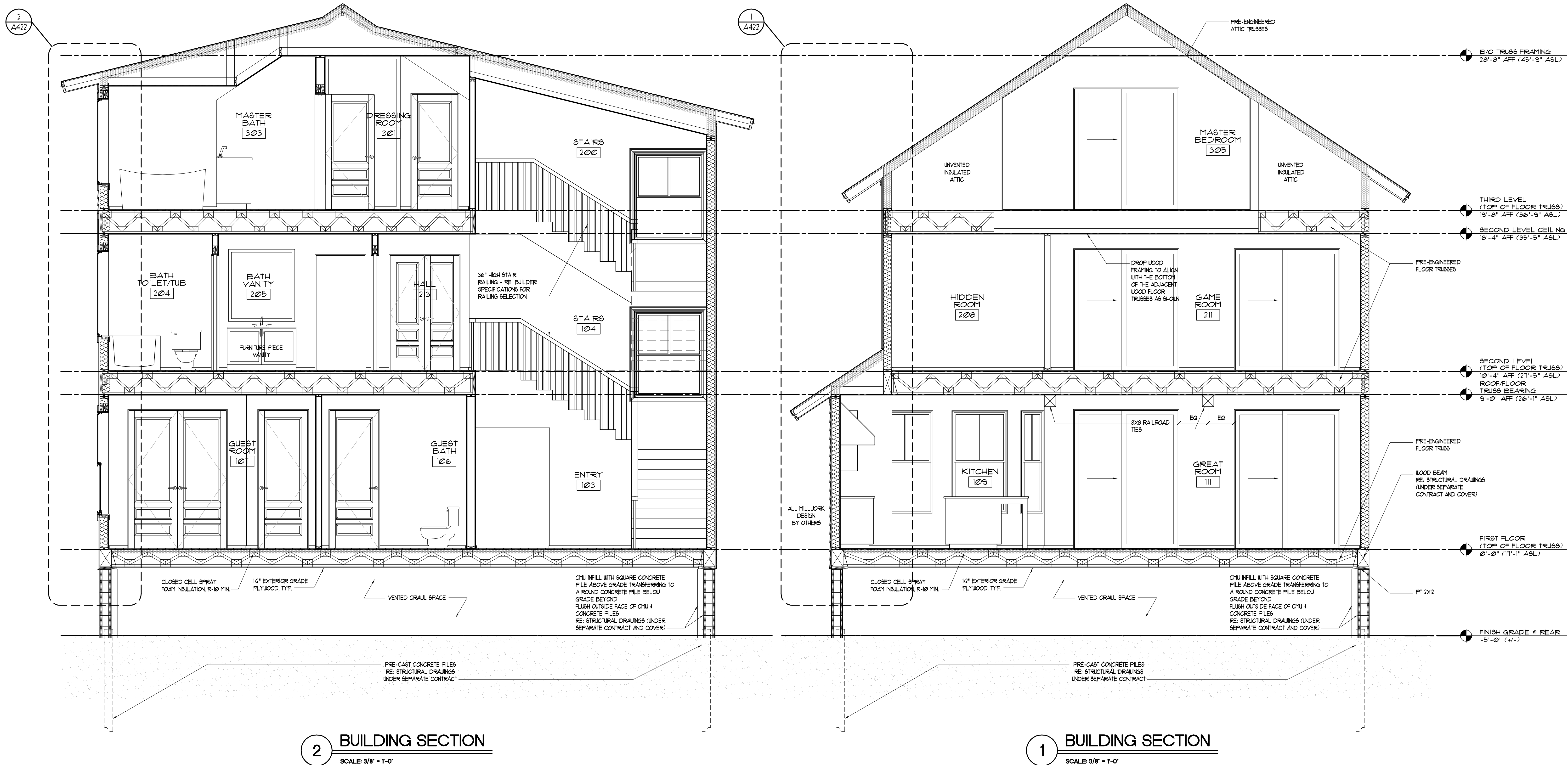
Sheet Title

BUILDING  
SECTION

Sheet No.

A4.1.2

PERMIT ISSUE



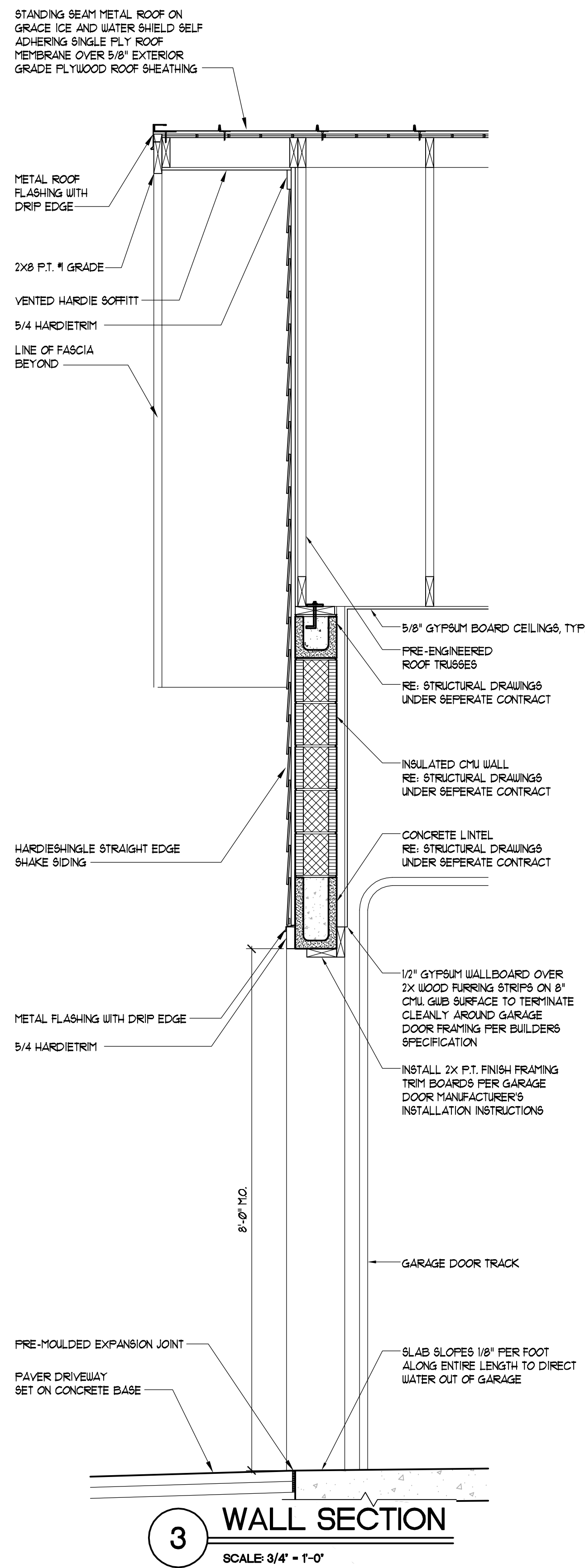
2 BUILDING SECTION  
SCALE: 3/8" = 1'-0"

1 BUILDING SECTION  
SCALE: 3/8" = 1'-0"

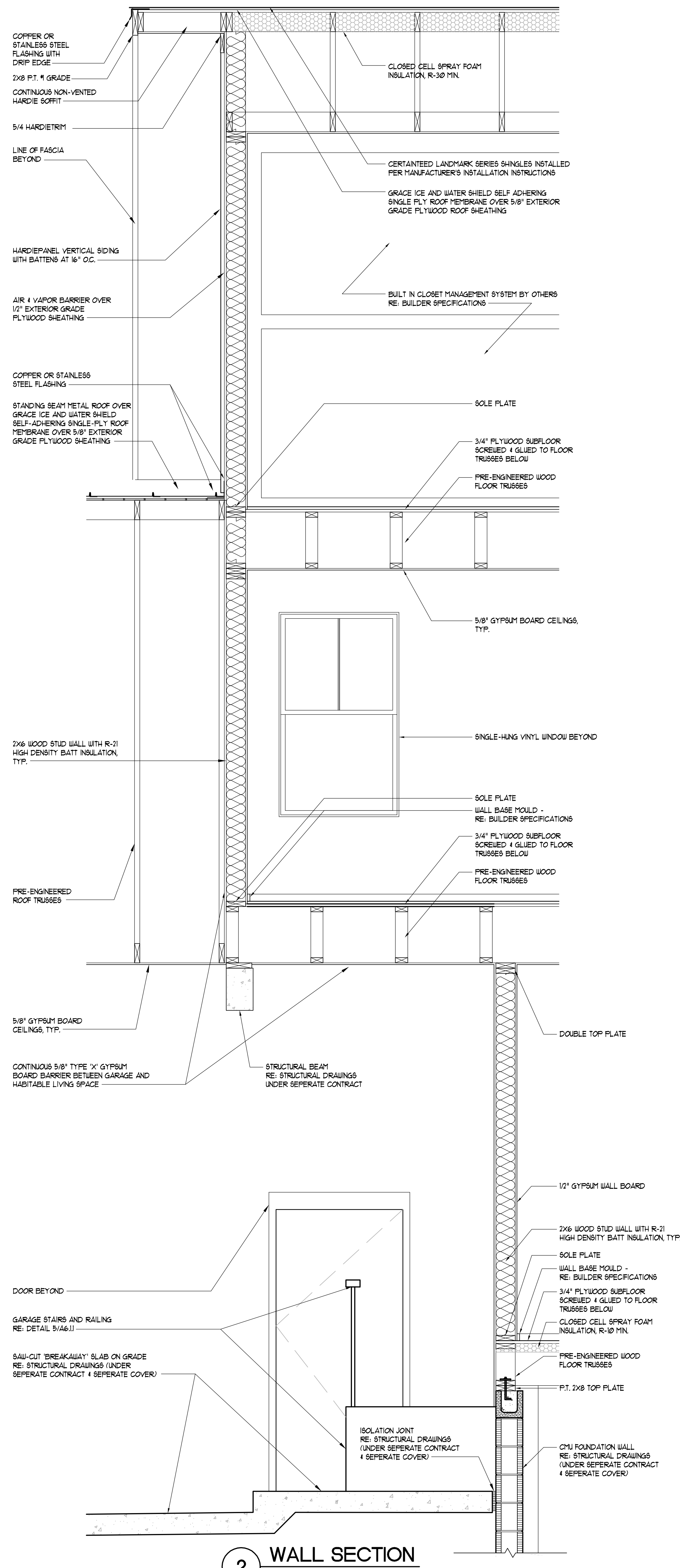


**GENERAL NOTES:**

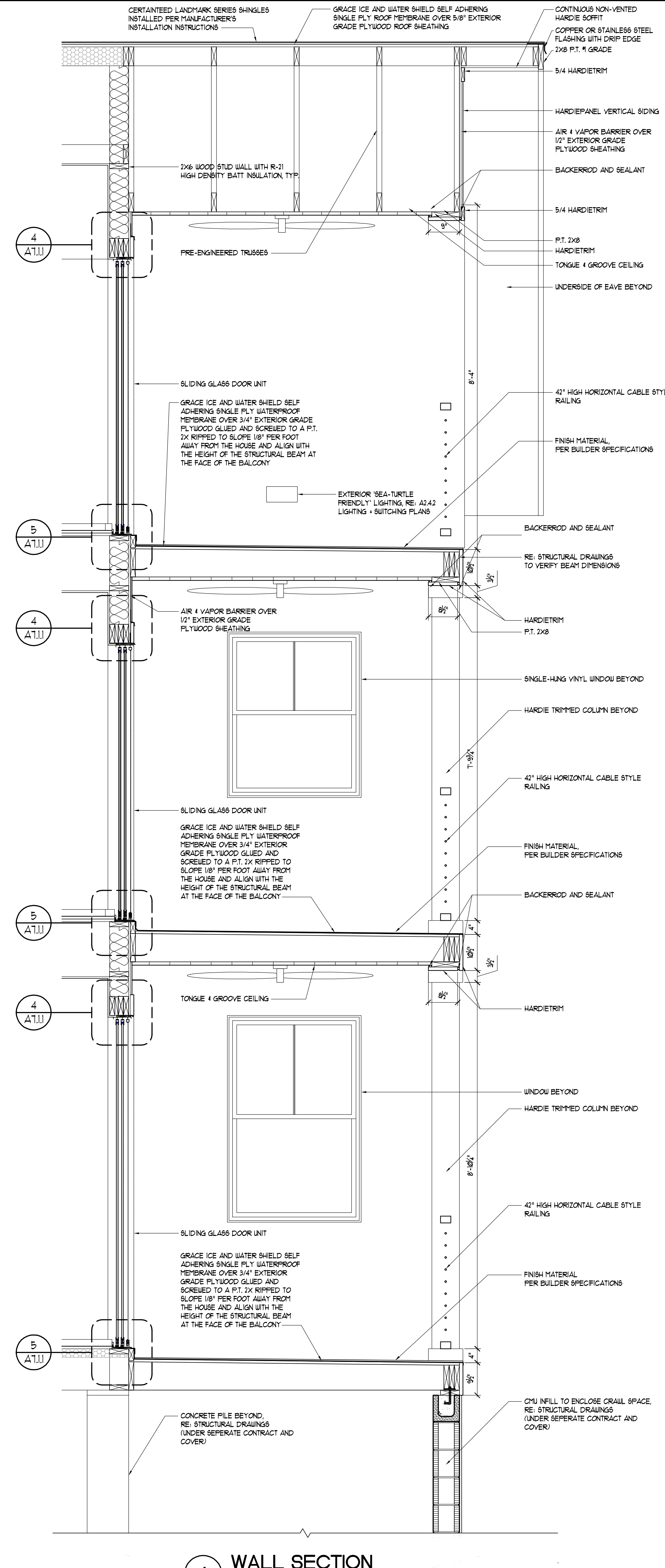
1. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S BEST PRACTICE INSTALLATION INSTRUCTIONS.
2. THE BUILDER SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S DRAWING FOR DIRECTION ON HOW TO PROCEED.
3. THE BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL METALS WHICH WILL COME IN CONTACT WITH EACH OTHER OR WHICH WILL BE POSITIONED IN SUCH A WAY SO AS TO BE POTENTIALLY SUBJECT TO EXPOSURE TO THE SAME CONDUCTION SOLUTION TO EACH OTHER ARE "GALVANICALLY FRIENDLY" AND WILL NOT CAUSE GALVANIC ACTION TO DETERIORATE ANY ADJACENT METAL OR MATERIAL. IF USE OF DISSIMILAR METALS CAN NOT BE AVOIDED METALS SHOULD BE AS CLOSE TO EACH OTHER ON THE GALVANIC CHART AS POSSIBLE WITH THE ITEM OF THE LARGEST AREA BEING OF THE MORE ACTIVE METAL AND THE ITEM OF THE SMALLER AREA BEING OF THE MORE NOBLE METAL. ADDITIONALLY THEY SHOULD BE ELECTRICALLY INSULATED FROM ONE ANOTHER BY USE OF APPROPRIATE PAINTS, NEOPRENE OR OTHER WASHERS WHENEVER POSSIBLE.
4. ALL STRUCTURAL COMPONENTS SHOWN HEREIN ARE DIAGRAMMATIC AND BASED UPON THE ARCHITECT'S LIMITED UNDERSTANDING OF THE STRUCTURAL COMPOSITION OF THE HOME. THE BUILDER AND ALL SUB-CONTRACTORS SHALL REFER TO THE STRUCTURAL DRAWINGS (UNDER SEPARATE CONTRACT) & SEPARATE COVER FOR ALL STRUCTURAL ELEMENTS.



**3 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**2 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**1 WALL SECTION**  
SCALE: 3/4" = 1'-0"

**WAKEFIELD BEASLEY & ASSOCIATES**

**ARCHITECTS INTERIORS**  
Jacksonville Office:  
200 Pinks Pedra Park Drive  
Pinks Pedra Beach, Florida 32082  
904 245 6565 TELEPHONE  
904 245 6564 FAX

**DREAMBUILDER OCEANFRONT RESIDENCE**  
for  
**MATT & ALEXIS KANE**

2701 Ocean Drive South  
Jacksonville Beach, Florida

Owner:  
**Matt & Alexis Kane**

Builder:  
**Dreambuilder Custom Homes, LLC**  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012, Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 20 DECEMBER 2012  
Job No: 1204008.000

Sheet Title

**WALL SECTIONS**

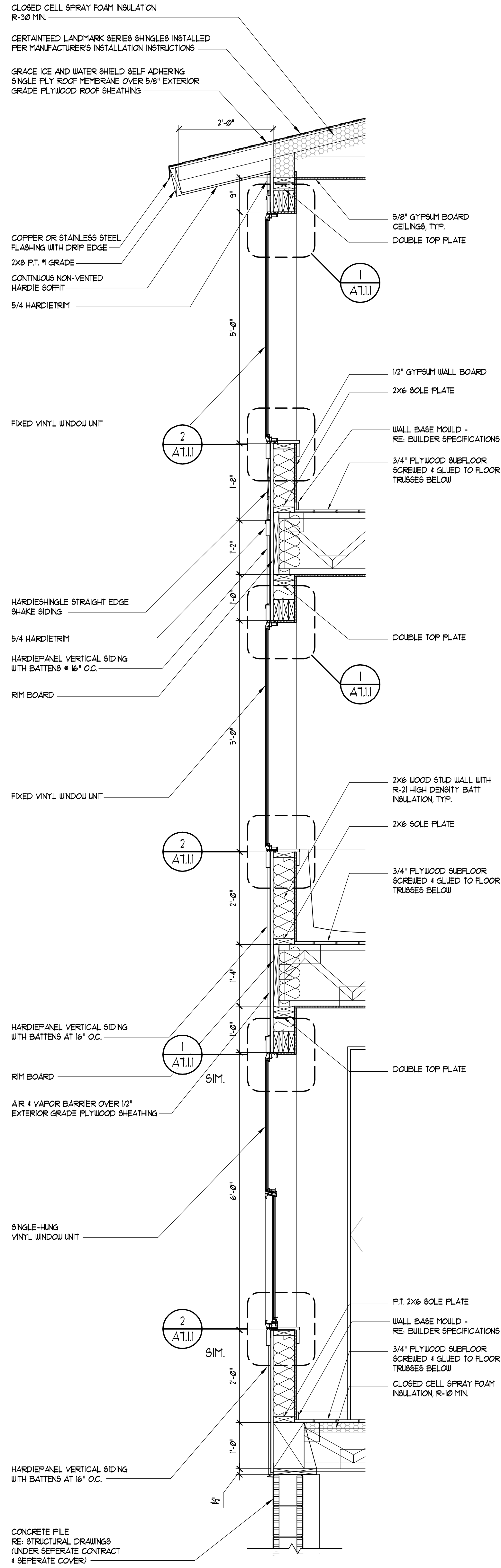
Sheet No. **A4.21**

**PERMIT ISSUE**

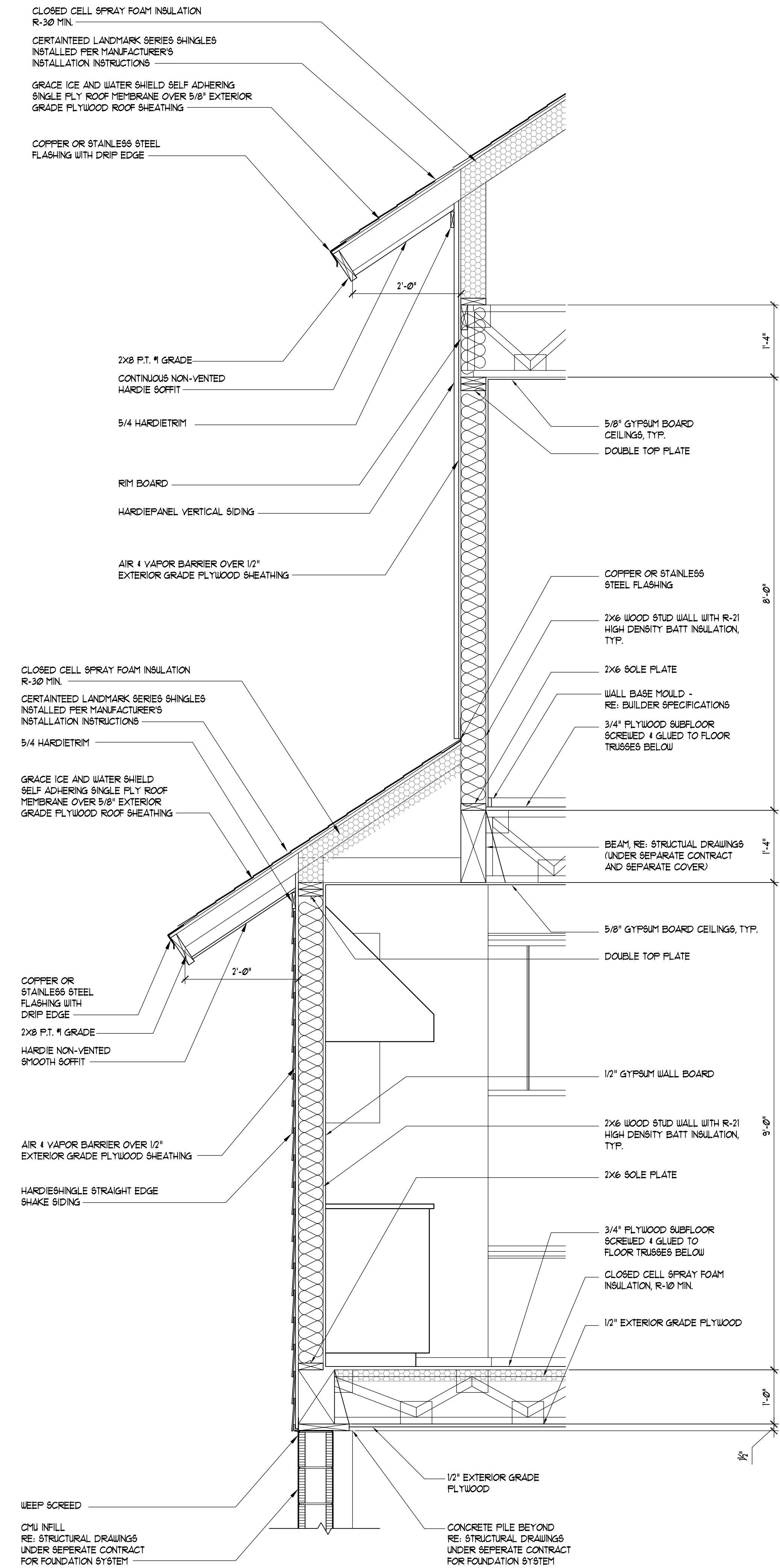


**GENERAL NOTES:**

- 1. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S BEST PRACTICE INSTALLATION INSTRUCTIONS.
- 2. THE BUILDER SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE ARCHITECT'S DRAWING FOR DIRECTION ON HOW TO PROCEED.
- 3. THE BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL METALS WHICH WILL COME IN CONTACT WITH EACH OTHER OR WHICH WILL BE POSITIONED IN SUCH A WAY SO AS TO BE POTENTIALLY SUBJECT TO EXPOSURE TO THE SAME CONDUCTION SOLUTION TO EACH OTHER ARE "GALVANICALLY FRIENDLY" AND WILL NOT CAUSE GALVANIC ACTION TO DETERIORATE ANY ADJACENT METAL OR MATERIAL. IF USE OF DISSIMILAR METALS CAN NOT BE AVOIDED METALS SHOULD BE AS CLOSE TO EACH OTHER ON THE GALVANIC CHART AS POSSIBLE WITH THE ITEM OF THE LARGEST AREA BEING OF THE MORE ACTIVE METAL AND THE ITEM OF THE SMALLER AREA BEING OF THE MORE NOBLE METAL. ADDITIONALLY THEY SHOULD BE ELECTRICALLY INSULATED FROM ONE ANOTHER BY USE OF APPROPRIATE PAINTS, NEOPRENE OR OTHER WASHERS WHENEVER POSSIBLE.
- 4. ALL STRUCTURAL COMPONENTS SHOWN HEREIN ARE DIAGRAMMATIC AND BASED UPON THE ARCHITECT'S LIMITED UNDERSTANDING OF THE STRUCTURAL COMPOSITION OF THE HOME. THE BUILDER AND ALL SUB-CONTRACTORS SHALL REFER TO THE STRUCTURAL DRAWINGS (UNDER SEPARATE CONTRACT & SEPARATE COVER FOR ALL STRUCTURAL ELEMENTS).



**2 WALL SECTION**  
SCALE: 3/4" = 1'-0"



**1 WALL SECTION**  
SCALE: 3/4" = 1'-0"

**WAKEFIELD  
BEASLEY &  
ASSOCIATES**

**ARCHITECTS INTERIORS**  
Jacksonville Office:  
200 Pinks Pinks Park Drive  
Pinks Pinks Beach, Florida 32082  
904 245 6565 TELEPHONE  
904 245 6564 FAX

**DREAMBUILDER  
OCEANFRONT  
RESIDENCE**  
for  
**MATT & ALEXIS  
KANE**

2701 Ocean Drive South  
Jacksonville Beach, Florida

**Owner:**  
Matt & Alexis Kane

**Builder:**  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012, Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings are not to be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date 10 DECEMBER 2012 Job No. 1204008.000

Sheet Title

**WALL  
SECTIONS**

Sheet No.  
**A4.2.2**

**PERMIT ISSUE**

Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012 Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

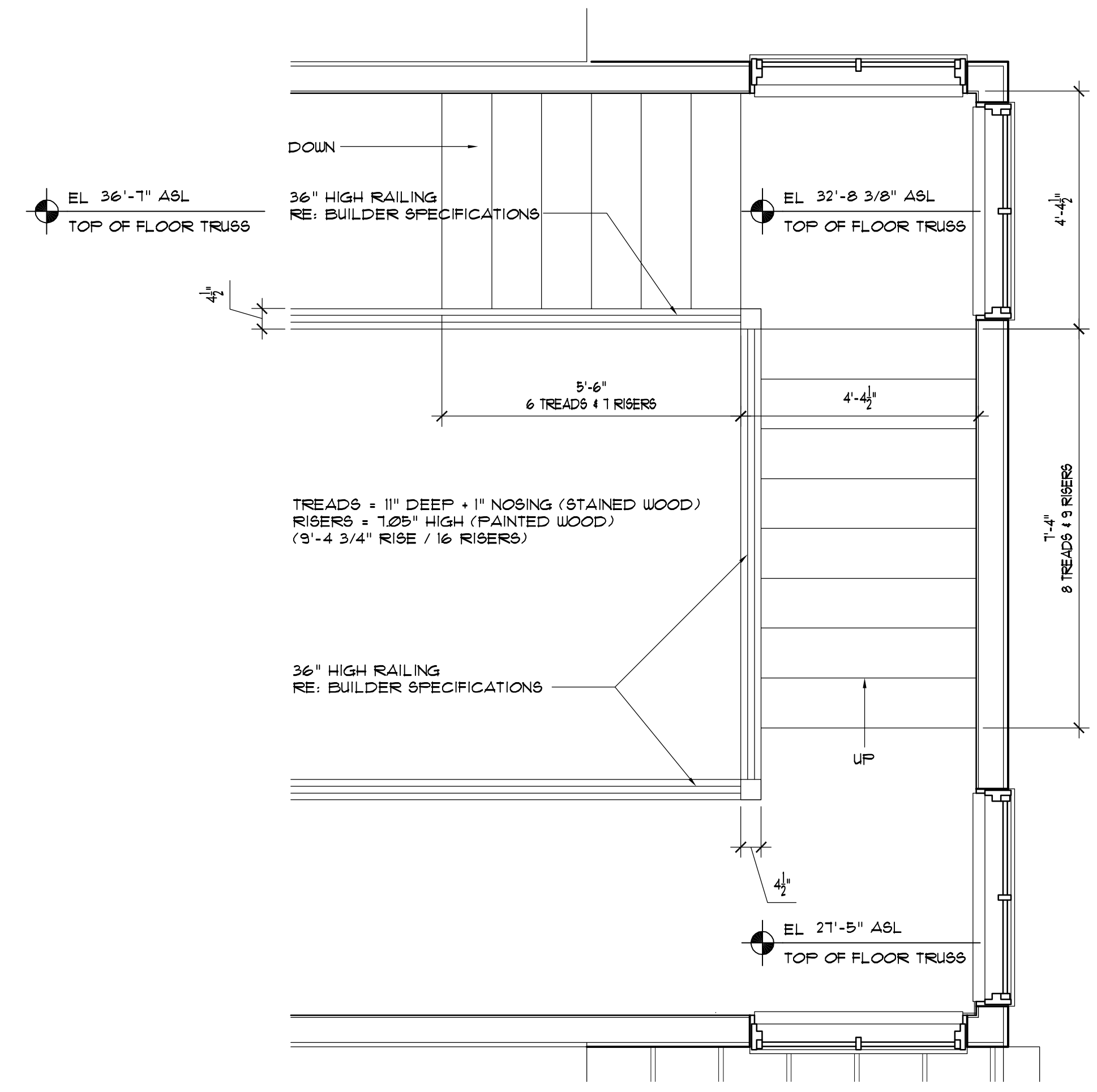
Revisions

Date 20 DECEMBER 2012 Job No. 1204009.000  
Sheet Title

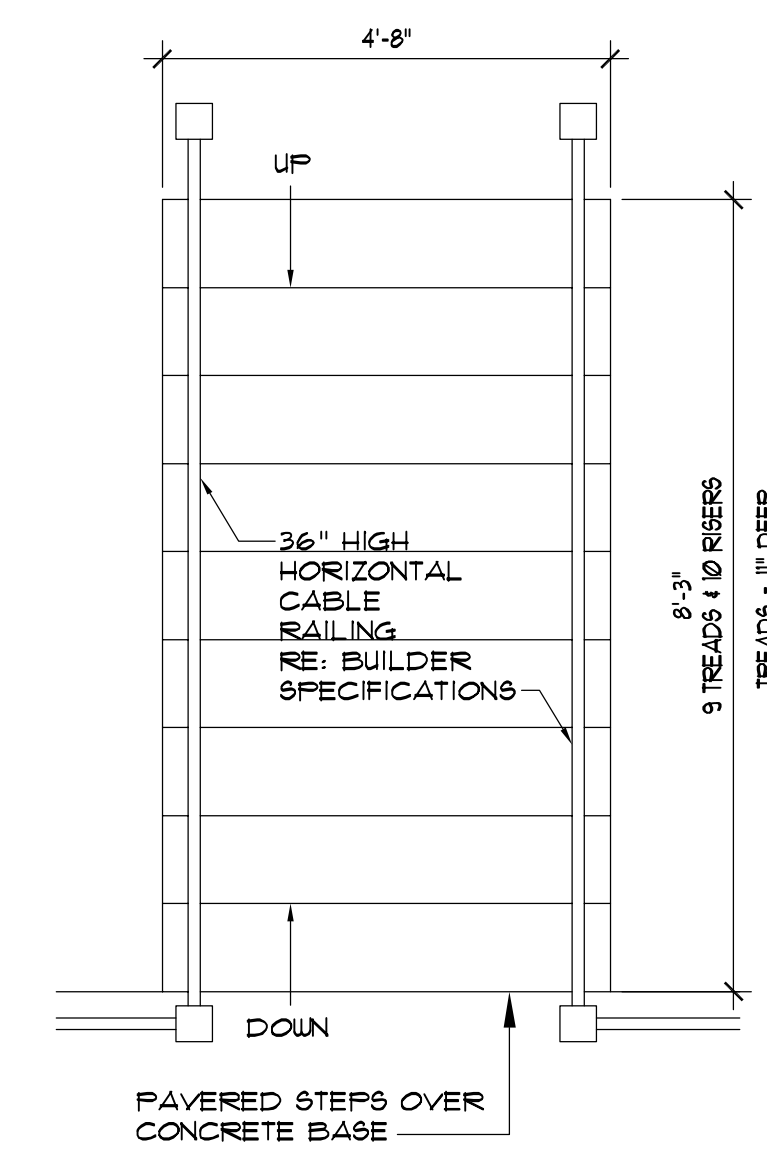
STAIR DETAILS

Sheet No. A6.11

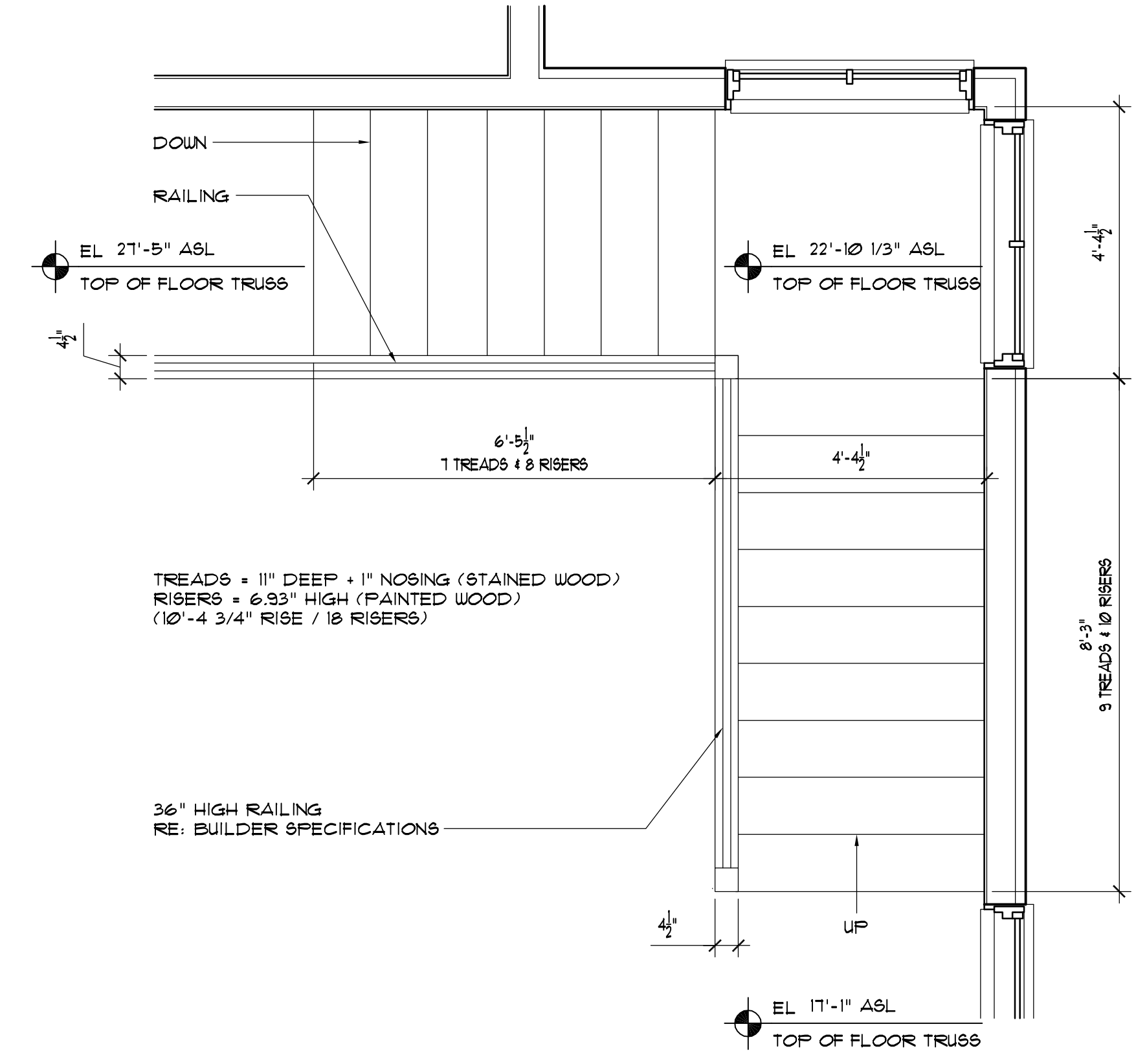
PERMIT ISSUE



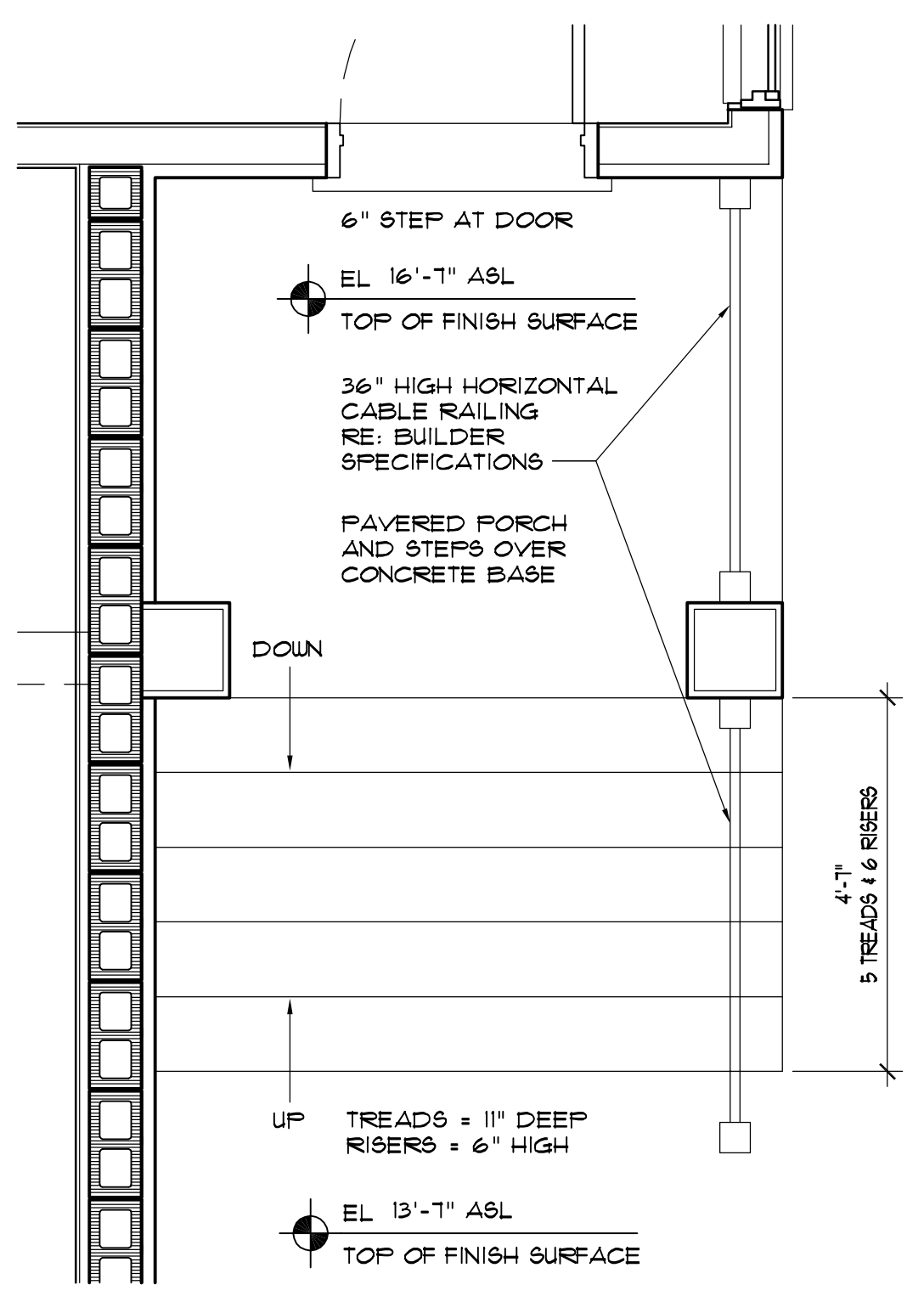
2 SECOND FLIGHT  
SCALE 1/2" = 1'-0"  
NORTH



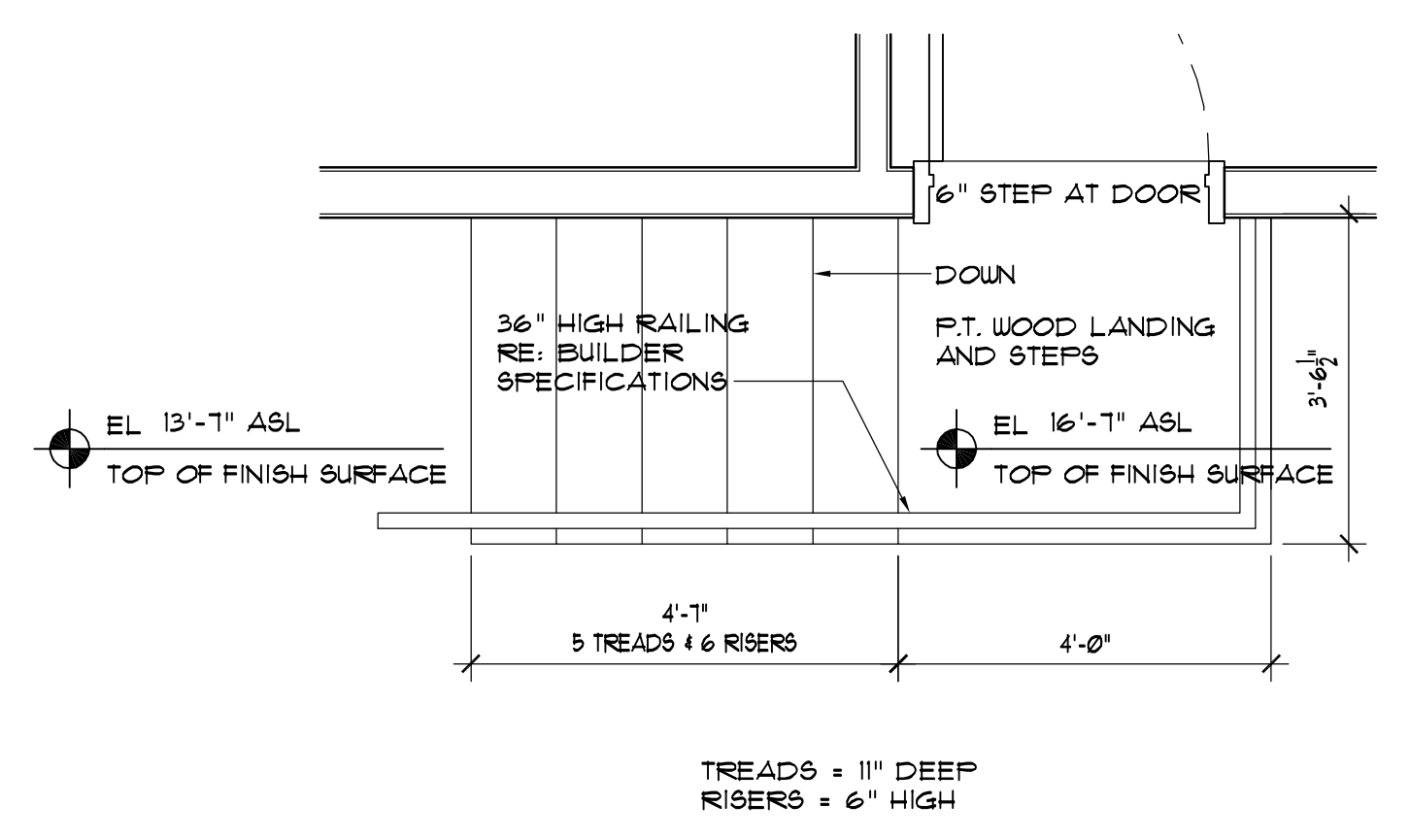
4 REAR PORCH STEPS  
SCALE 1/2" = 1'-0"  
NORTH



1 FIRST FLIGHT  
SCALE 1/2" = 1'-0"  
NORTH



3 FRONT PORCH STEPS  
SCALE 1/2" = 1'-0"  
NORTH



5 GARAGE STEPS  
SCALE 1/2" = 1'-0"  
NORTH



Owner:  
Matt & Alexis Kane

Builder:  
Dreambuilder Custom Homes, LLC  
905 Mineral Creek Drive  
Jacksonville, Florida 32225  
T: 904.612.6946

©2012, Wakefield/Beasley & Associates Architects, Inc. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof may not be used for any purpose or reproduced in any form or by any means without the written consent of Wakefield/Beasley.

Print Record

Revisions

Date: 10 DECEMBER 2012 Job No: 1204009.000

Sheet Title

MISC DETAILS

Sheet No.

A7.11

PERMIT ISSUE

