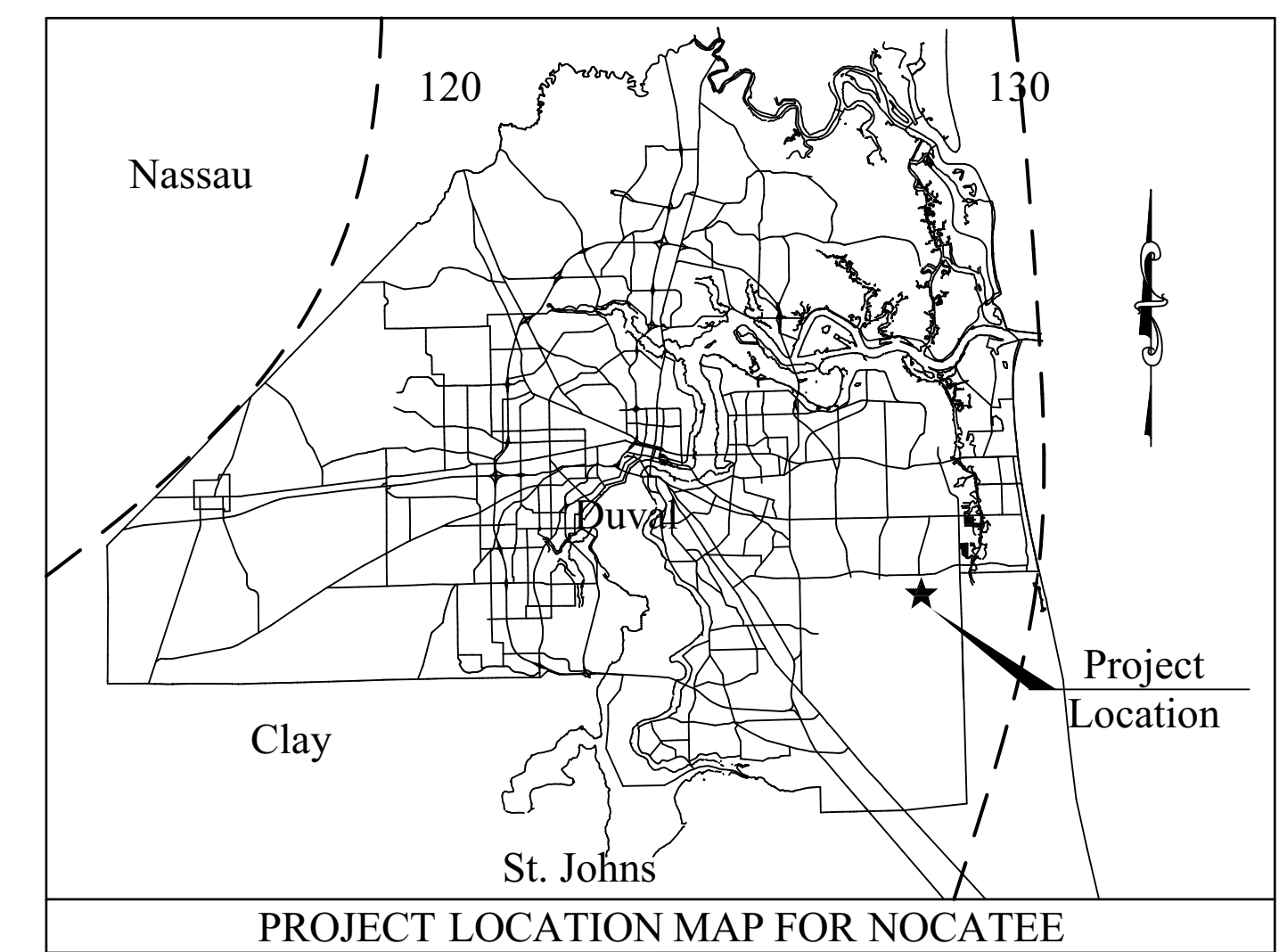


DUVAL COUNTY RESIDENTIAL COVER SHEET



AREA TAB	
LOT S.F. TOTAL	13,459.00
LOT S.F. (FROM P.L. TO CURB ~12.0')	1,478.00
HOUSE FOOTPRINT S.F.	4,360.00
DRIVEWAY S.F.	1,456.00
DRIVEWAY APRON S.F.	338.00
POOL S.F.	0.00
COMMUNITY SIDEWALK S.F.	0.00
HOUSE WALKWAY S.F.	0.00
PLANTING BEDS S.F. (ALLOWANCE)	1,500.00
SOD S.F.	7,283.00
EASEMENTS (NOT IN TREE CALCS.)	0
BUFFERS (NOT TO BE SODDED)	0
BUILDING COVERAGE	32%
TOTAL LOT COVERAGE	43%

DATE: 6/28/16
LOT 167, PABLO CREEK RESERVE
 1 INCH = 10 ft MAP BOOK: 58 PAGE: 137

SITE PLAN NOTES:

OVERHANG PROTECTION IS REQUIRED WHEN LOCATED LESS THAN 5' FROM THE PROPERTY LINE. SEE ROOF PLAN FOR PROTECTION LOCATIONS AND INFORMATION.

OVERHANG PROTECTION IS **NOT** REQUIRED FOR THIS LOT

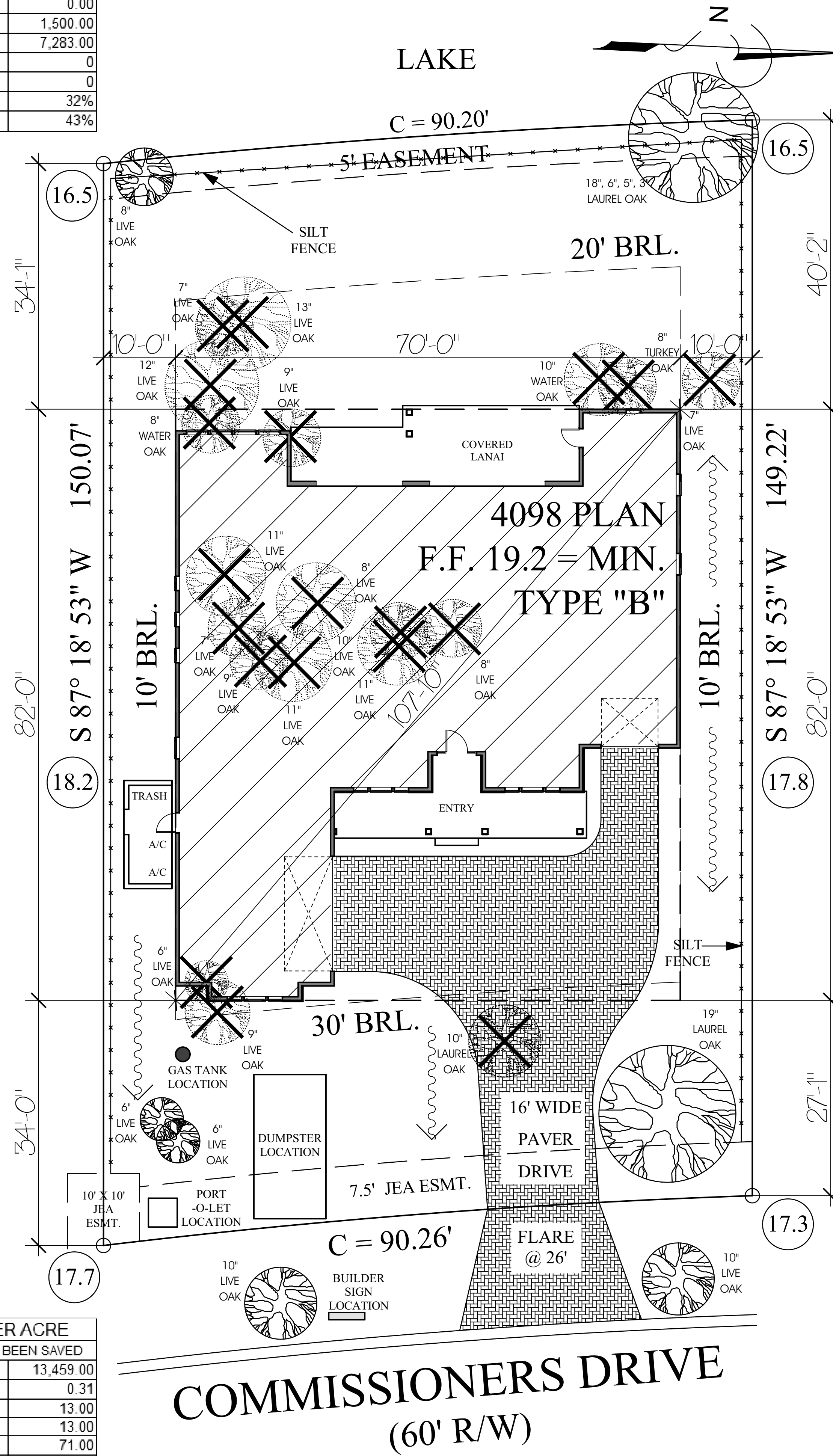
ALL SIDEWALK AND FLATWORK SHALL, AT A MINIMUM, MEET CURRENT ST. JOHNS COUNTY AND ADA STANDARDS. CROSS SLOPES SHALL BE NO MORE THAN 2%. THE PORTION OF THE SIDEWALK WHICH TRANSVERSES THROUGH THE DRIVEWAY APRON SHALL ALSO MEET THIS REQUIREMENT. ALSO, UTILITIES (METER BOXES, VALVES, ETC.) SHALL NOT BE INSTALLED WITHIN THE SIDEWALK.

SETBACKS ARE MEASURED TO THE FOUNDATION WALL.

70% OF ALL TREES TO BE CANOPY TREES. ONLY 50% ARE TO BE OF ONE SPECIES

THIS LOT IS LOCATED IN FEMA FLOOD ZONE "X".

GRADING AWAY FROM HOUSE SHALL BE A MINIMUM OF 1%



SITE PLAN

TREE CREDIT TABLE - 40" PER ACRE	
LOT HAS BEEN CLEARED - TREES HAVE BEEN SAVED	
LOT S.F. (LESS ESMTS. & WETLANDS)	13,459.00
% OF ACRE (DIV. BY 43,560 S.F.)	0.31
ACRE % X 40" PER ACRE	13.00
# OF INCHES REQ'D. TREES	13.00
# OF INCHES EXISTING TREES	71.00
# OF INCHES NEEDED (MINUS EXIST.)	-58.00

BUILDER: Shawn Starr - (904) 612-6946, shawn@starrcustom.com
 HOME DESIGNER: Sam Clausen - (904) 759-6036, sclausen@bellsouth.net
 INTERIOR DESIGNER: Josie Myers - (904) 535-1981, msjdesigninc@gmail.com
 ENGINEER: Lou Pontigo - (904) 242-0908, lou@lp-a.com

INDEX OF DRAWINGS:

- C-1 COVER SHEET
- A-1 FOUNDATION / ROOF PLAN
- A-2 FLOOR PLAN / INTERIOR DETAILS
- A-3 SECOND FLOOR PLAN
- A-4 FLOORING PLAN
- A-5 ELEVATIONS
- E-1 ELECTRICAL PLAN
- F-1 FLASHING DETAILS

CURRENT BUILDING CODE: Florida Building Code 2014 Residential
 OCCUPANCY CLASS: Group R3
 CONSTRUCTION TYPE: 5B

BUILDING AREA:

1st Floor A/C: 2812
 2nd Floor A/C: 1286
 Total A/C: 4098
 Garage: 955
 Entry: 242
 Lanai: 352
 Total Covered: 5647
 Overall: 70'W x 82'D
 Roof Height: 33'-2"

REVISIONS:

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DREAM DESIGN 28
 LOT 167, PABLO CREEK RESERVE

4098

LIVING 1:	2812
LIVING 2:	1286
TOTAL A/C:	4098
GARAGE:	955
ENTRY:	242
LANAI:	352
TOTAL:	5647

DATE: 3-APR-2016
 DESIGN BY: SAM CLAUSEN
 DRAWN BY: SAM CLAUSEN

PLAN NO.
C-1
 COVER PAGE
 OF

FOUNDATION NOTES

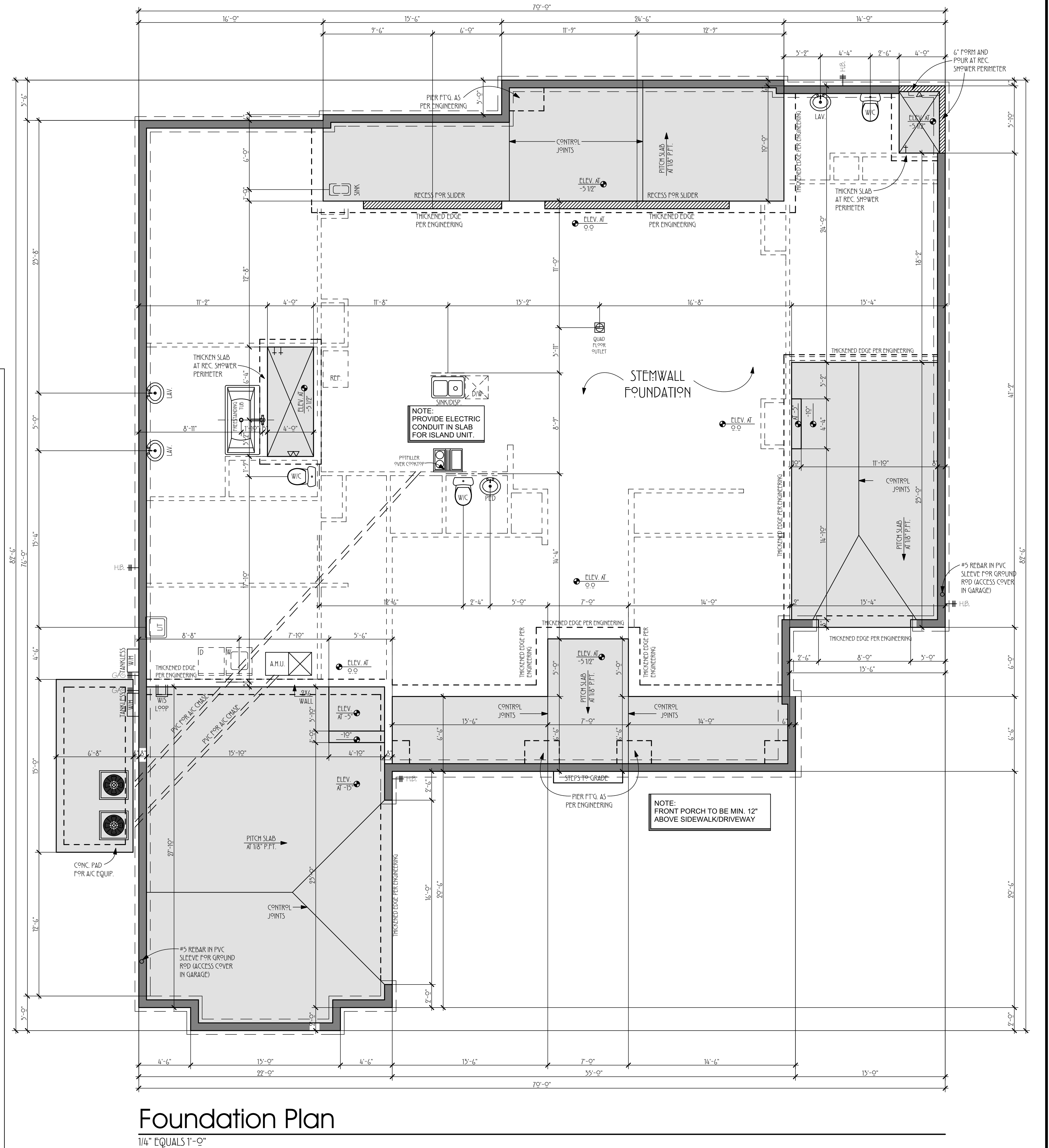
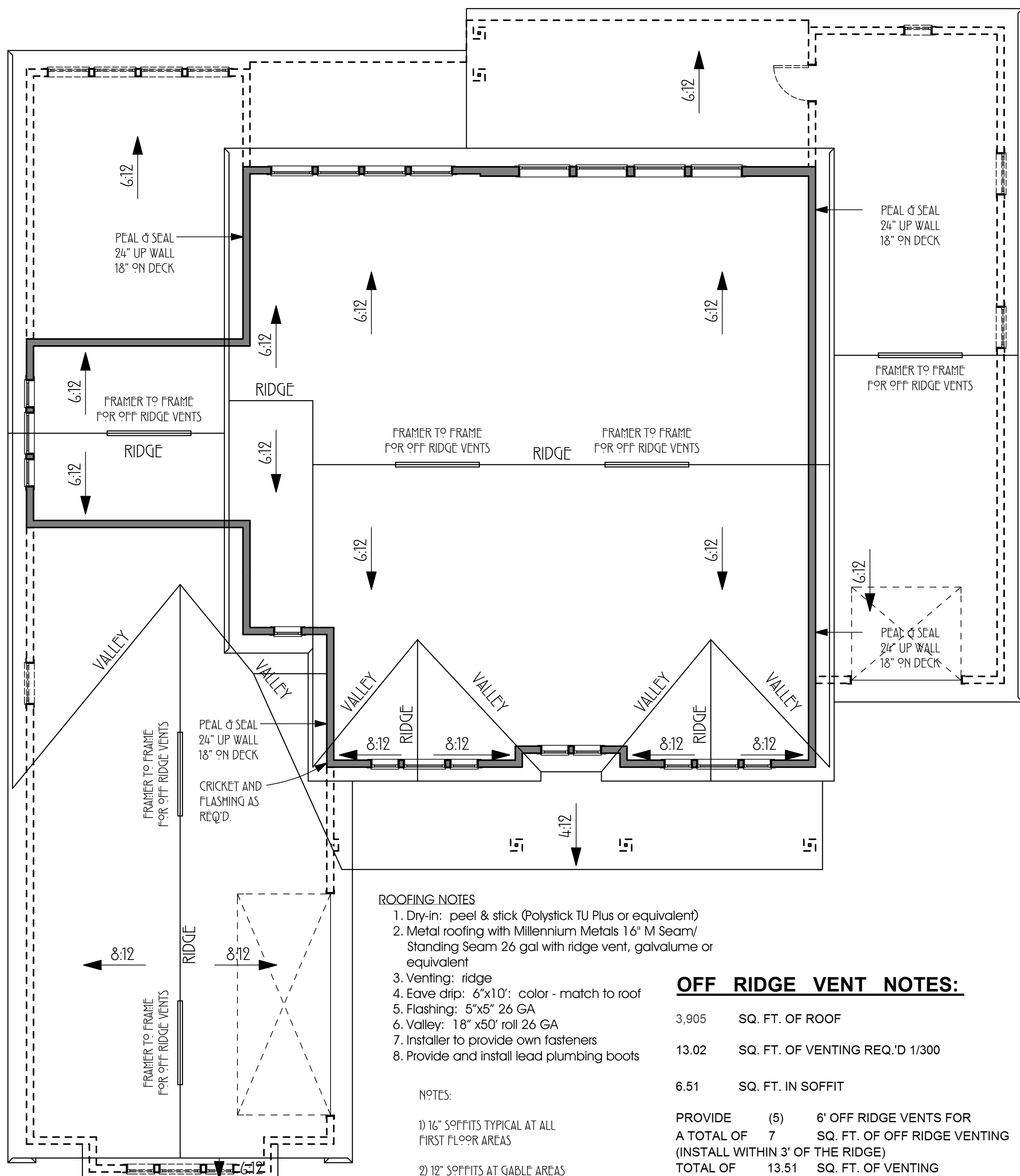
- Include note: A foundation survey shall be performed and a copy of the survey shall be on the site for the building inspector's use prior to framing inspection; or all property markers shall be exposed and a string stretched from marker to marker to verify required setbacks.
- Mono or stem wall slab: min 2500 PSI 4" concrete slab w/6x6 10G WWM or fiber mesh on 6 mil visqueen vapor barrier on clean, compacted soil (typical all slab areas): min FFE = 19.2'
- Garage recess 3/4" extending 4" past jambs each side and 4" back from opening
- Slope 1/8" per foot for draining in garage and porches
- Porches and garages: 6" step down (typically)
- SGD recess of 1"; no recess for regular doors

PLUMBING NOTES

1. Install in-slab AC chase for all first-floor units
2. Individually cap supply lines at kitchen island; do not loop
3. Secure pedestal sinks, free standing vanities, etc. to wall per manufacturer's instructions
4. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
5. Plumber to provide appropriate valves, tub waste, wood toilet seats, etc., that are not specified on fixture list
6. Review location of plumbing to upper floor with builder prior to installation.
7. All shower heads to be 84" a.f.f. unless otherwise noted.

TERMITE TREATMENT NOTES

1. Treat all framing with BoraCare per manufacturer's instructions
2. Provide renewable termite bond with minimum \$250,00 coverage



REVISIONS:



DREAM DESIGN 28
LOT 167, PABLO CREEK RESERVE

4098

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DATE: 3-APR-2016
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
A-1
OF

FRAMING NOTES

1. Wall sheathing: 7/16" Zip System
2. Floor decking: 3/4" Ilevel EdgeGold or 3/4" Advantech flooring
3. Roofing sheathing: 5/8" CDX for metal roofing
4. Porch ceiling sheathing: 7/16" OSB
5. Install floor and roof trusses (provided by others)
6. Roof dry-in by others
7. Dropped ceilings are to be framed, not trussed
8. No wall thickness are to be changed (e.g., 2x4 to 2x6) without builder approval
9. Check trade information for rough openings for exterior doors, interior doors, pocket doors and windows
10. Maintain door returns of 5" whenever possible to accommodate wide casing; review exceptions with builder prior to framing
11. Garage rough openings to be call size
12. Garage goal posts on interior only; no bucks on jambs
13. Staircase: open stringer; wood treads and risers
14. Install double 2x4 curb at all open railing locations
15. Install double 2x4 curb at all second floor walk-in shower locations
16. Install 2x6 blocking around perimeter of walk-in showers on floor
17. Install 2x6 blocking behind pedestal sinks (install between 30" and 36" AFF)
18. Install appropriate blocking/nailers for drywall throughout, especially at tubs/showers

TRUSS/METAL NOTES (floorplan)

1. Trusses: open web; 2x6 bottom chords on roof trusses
2. Truss engineer to review HVAC duct placement with builder prior to finalizing design
3. Ensure no floor trusses in way of second floor plumbing
4. Quick-Tie structural metal system

HOUSEWRAP/WINDOW TAPE NOTES (floorplan)

1. Housewrap: n/a (ZIP System sheathing)
2. ZIP System seam taping: tape all wall sheathing seams, corners, penetrations, etc., in accordance with manufacturer's instructions with 4" ZIP System Tape (tape provided by builder)
3. Window tape: install 6" ZIP System Tape, all sides (butterfly sill corners) (tape provided by builder)

WINDOW NOTES (floorplan)

1. Windows: MI 3500 series vinyl single hung, low-E2, white or almond
2. SGD: MI TBD

HVAC NOTES (floorplan)

1. 15 SEER systems (trade to specify sizing and equipment model numbers)
2. Thermostat: Honeywell Lyric Programmable
3. White adjustable grills
4. Ductwork installation to meet Energy Star requirements
5. Install condensate lines for all units as needed
6. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
7. Provide roof boots as needed

GAS (propane) NOTES (floorplan)

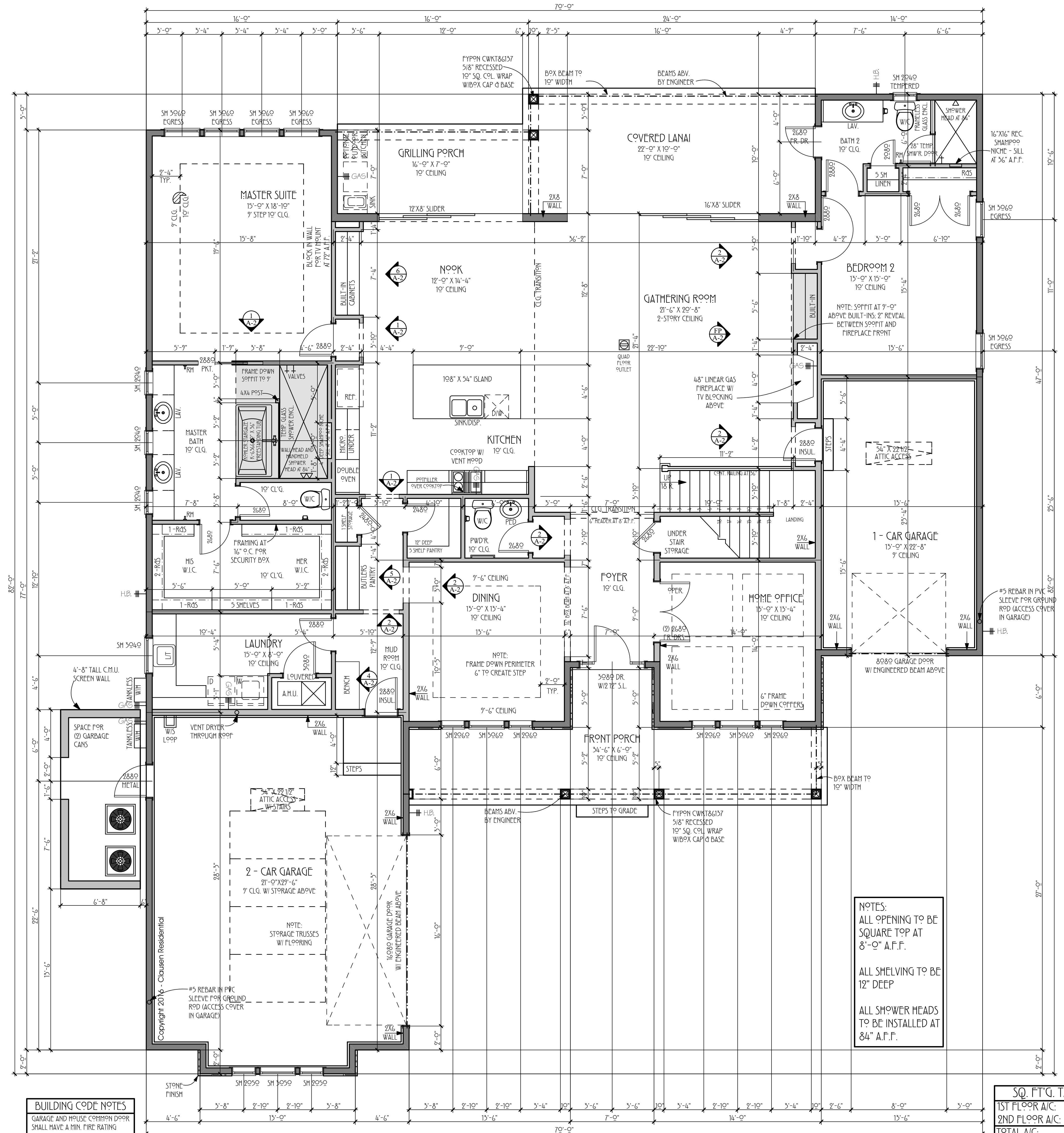
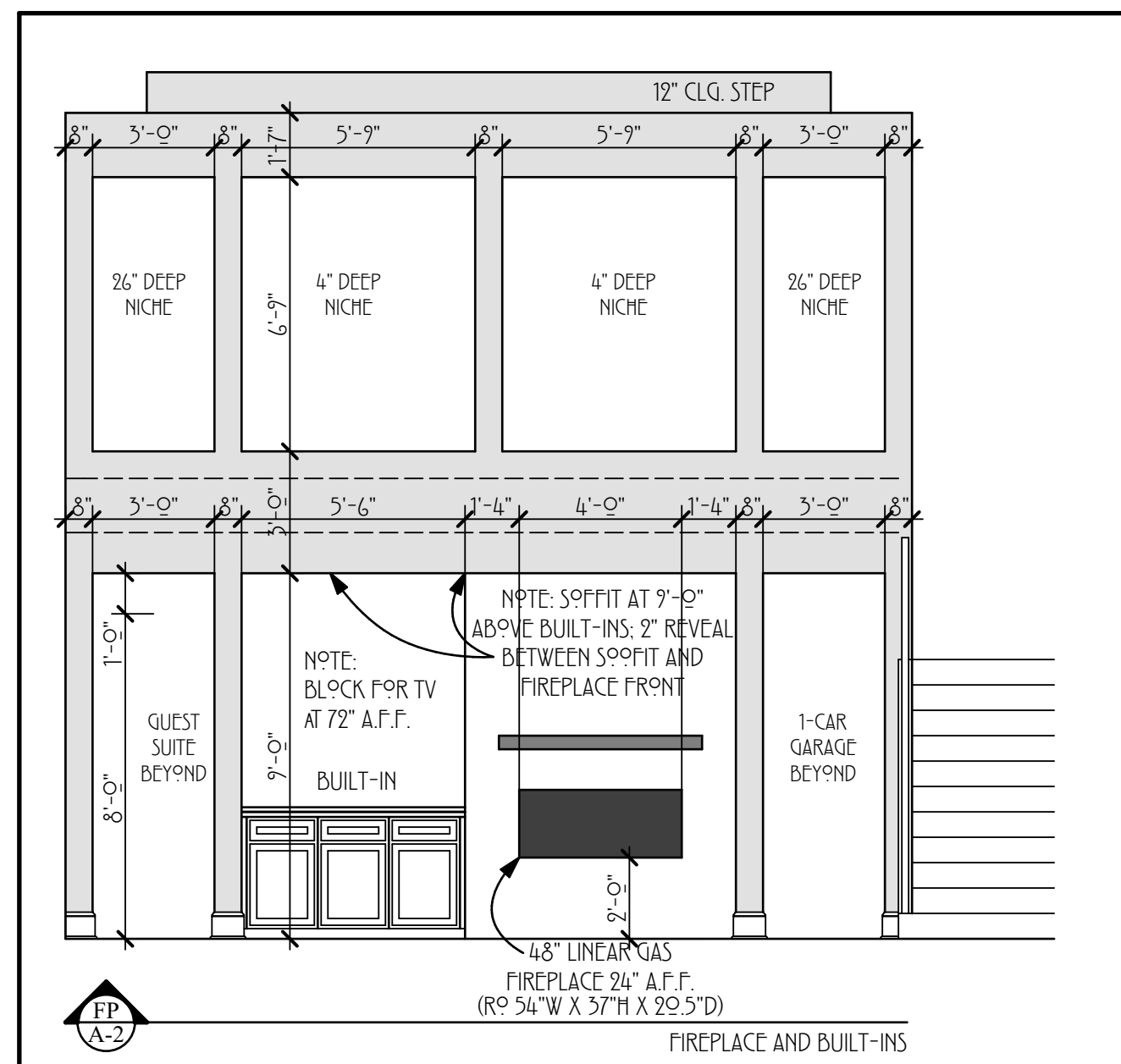
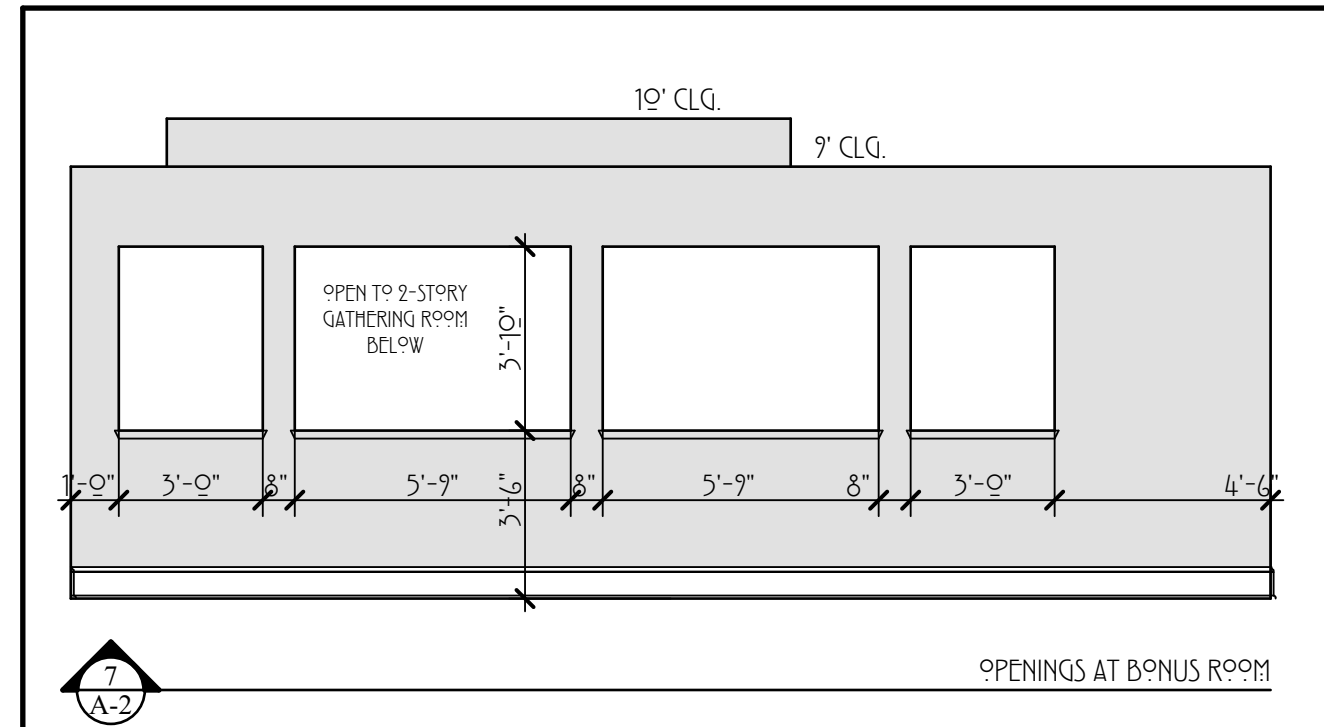
1. Note locations of gas drops: cooktop, fireplace, grill, HWH 2x
2. Rinnai tankless WHH (trade to specify sizing and equipment model numbers)
3. Provide and install buried 250g fuel tank and fill tank prior to end of construction
4. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.

DRYWALL NOTES (floorplan)

1. 4 x 12 boards (typically)
2. Walls: 1/2" regular sheetrock; level 4 smooth finish
3. Ceilings: 5/8" ceiling board; smooth finish (high build will be applied by painter)
4. Exterior ceilings: by others
5. Wet areas: Durock to ceiling
6. Fireplace: Durock behind stone
7. Fixed windows: do not drywall sills
8. Cased windows: do not drywall sills, jambs or header
9. Cased doorways: do not drywall jambs or header
10. Take special care to not leave exposed fasteners in pocket door cavities

INSULATION NOTES (floorplan)

1. Ceiling: R-38 blown fiberglass
2. Walls: R-21 high density fiberglass batt
3. Other areas: insulate per building code
4. Building caulking and sealing to meet Energy Star requirements



BUILDING CODE NOTES
GARAGE AND HOUSE COMMON DOOR SHALL HAVE A MIN. FIRE RATING 90' 20 MINUTES AND HAVE A SELF-CLOSING DEVICE INSTALLED.
ALL EXTERIOR WALLS ARE 2X6 UNLESS OTHERWISE NOTED

First Floor Plan
1/4" = EQUALS 1'-0"

NOTES:
ALL OPENING TO BE SQUARE TOP AT 8'-0" A.F.F.
ALL SHELVING TO BE 12" DEEP
ALL SHOWER HEADS TO BE INSTALLED AT 84" A.F.F.

SQ. FT. TABS.

1ST FLOOR A/C:	2812
2ND FLOOR A/C:	1286
TOTAL A/C:	4098
REAR PORCH:	552
FRONT PORCH:	242
GARAGE:	955
TOTAL COVERED:	5647

REVISIONS:

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DREAM DESIGN 28
LOT 167, PABLO CREEK RESERVE

4098

LIVING 1:	2812
LIVING 2:	1286
TOTAL A/C:	4098
GARAGE:	955
ENTRY:	242
LANAI:	352
TOTAL:	5647

DATE: 3-APR-2016
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
A-2
OF

FRAMING NOTES

1. Wall sheathing: 7/16" Zip System
2. Floor decking: 3/4" iLevel EdgeGold or 3/4" AdvanTech flooring
3. Roofing sheathing: 5/8" CDX for metal roofing
4. Porch ceiling sheathing: 7/16" OSB
5. Install floor and roof trusses (provided by others)
6. Roof dry-in by others
7. Dropped ceilings are to be framed, not trussed
8. No wall thickness are to be changed (e.g., 2x4 to 2x6) without builder approval
9. Check trade information for rough openings for exterior doors, interior doors, pocket doors and windows
10. Maintain door returns of 5" whenever possible to accommodate wide casing; review exceptions with builder prior to framing
11. Garage rough openings to be call size
12. Garage goal posts on interior only; no bucks on jambs
13. Staircase: open stringer; wood treads and risers
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15. Install double 2x4 curb at all second floor walk-in shower locations
16. Install 2x6 blocking around perimeter of walk-in showers at floor
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18. Install appropriate blocking/nailers for drywall throughout, especially at tubs/showers

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1. Trusses: open web; 2x6 bottom chords on roof trusses
2. Truss engineer to review HVAC duct placement with builder prior to finalizing design
3. Ensure no floor trusses in way of second floor plumbing
4. Quick-Tie structural metal system

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1. Housewrap: n/a ZIP System sheathing
2. ZIP System seam taping: tape all wall sheathing seams, corners, penetrations, etc., in accordance with manufacturer's instructions with 4" ZIP System Tape (tape provided by builder)
3. Window tapes: install 6" ZIP System Tape, all sides (butterfly sill corners) (tape provided by builder)

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GAS (propane) NOTES (floorplan)

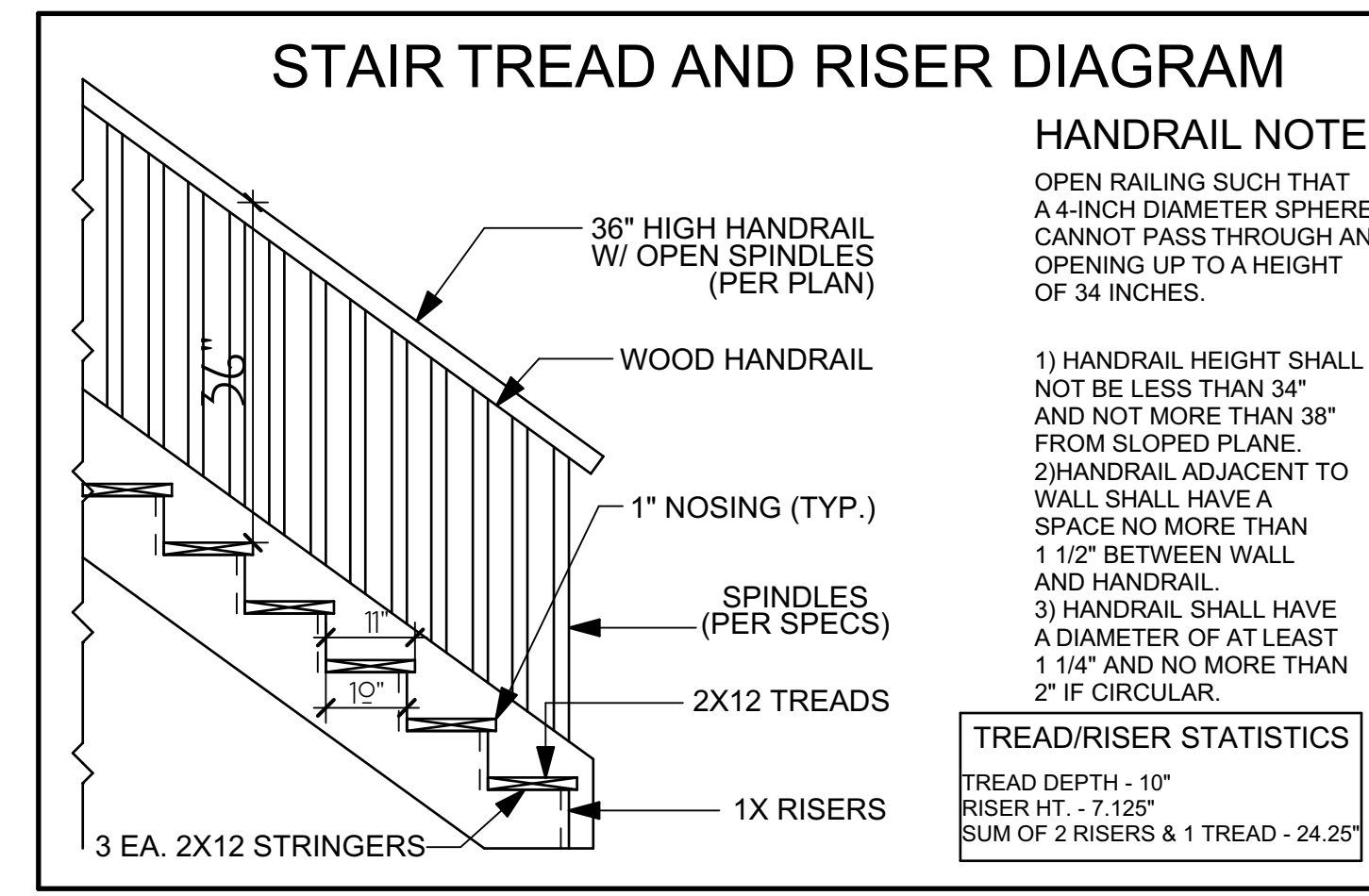
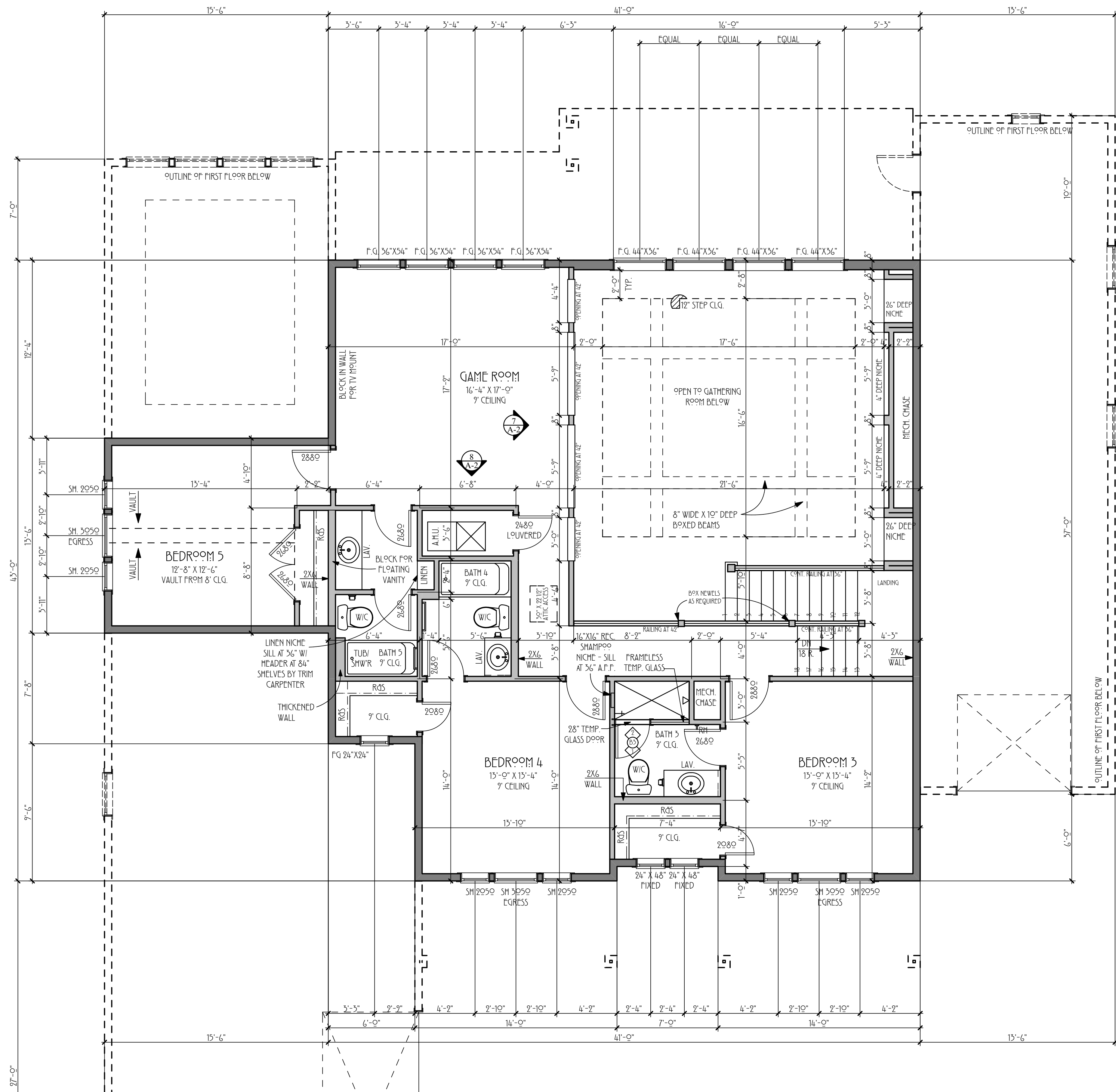
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DRYWALL NOTES (floorplan)

1. 4 x 12 boards (typically)
2. Walls: 1/2" regular sheetrock; level 4 smooth finish
3. Ceilings: 5/8" ceiling board; smooth finish (highbuild will be applied by painter)
4. Exterior ceilings: by others
5. Wet areas: Durock to ceiling
6. Fireplace: Durock behind stone
7. Fixed windows: do not drywall sills
8. Cased windows: do not drywall sills, jambs or header
9. Cased doorways: do not drywall jambs or header
10. Take special care to not leave exposed fasteners in pocket door cavities

INSULATION NOTES (floorplan)

1. Ceiling: R-38 blown fiberglass
2. Walls: R-21 high density fiberglass batt
3. Other areas: insulate per building code
4. Building caulking and sealing to meet Energy Star requirements



Second Floor Plan
1/4" EQUALS 1'-0"

REVISIONS:



DREAM DESIGN 28
LOT 167, PABLO CREEK RESERVE

4098

LIVING 1:	2812
LIVING 2:	1286
TOTAL A/C:	4098
GARAGE:	955
ENTRY:	242
LANAI:	352
TOTAL:	5647

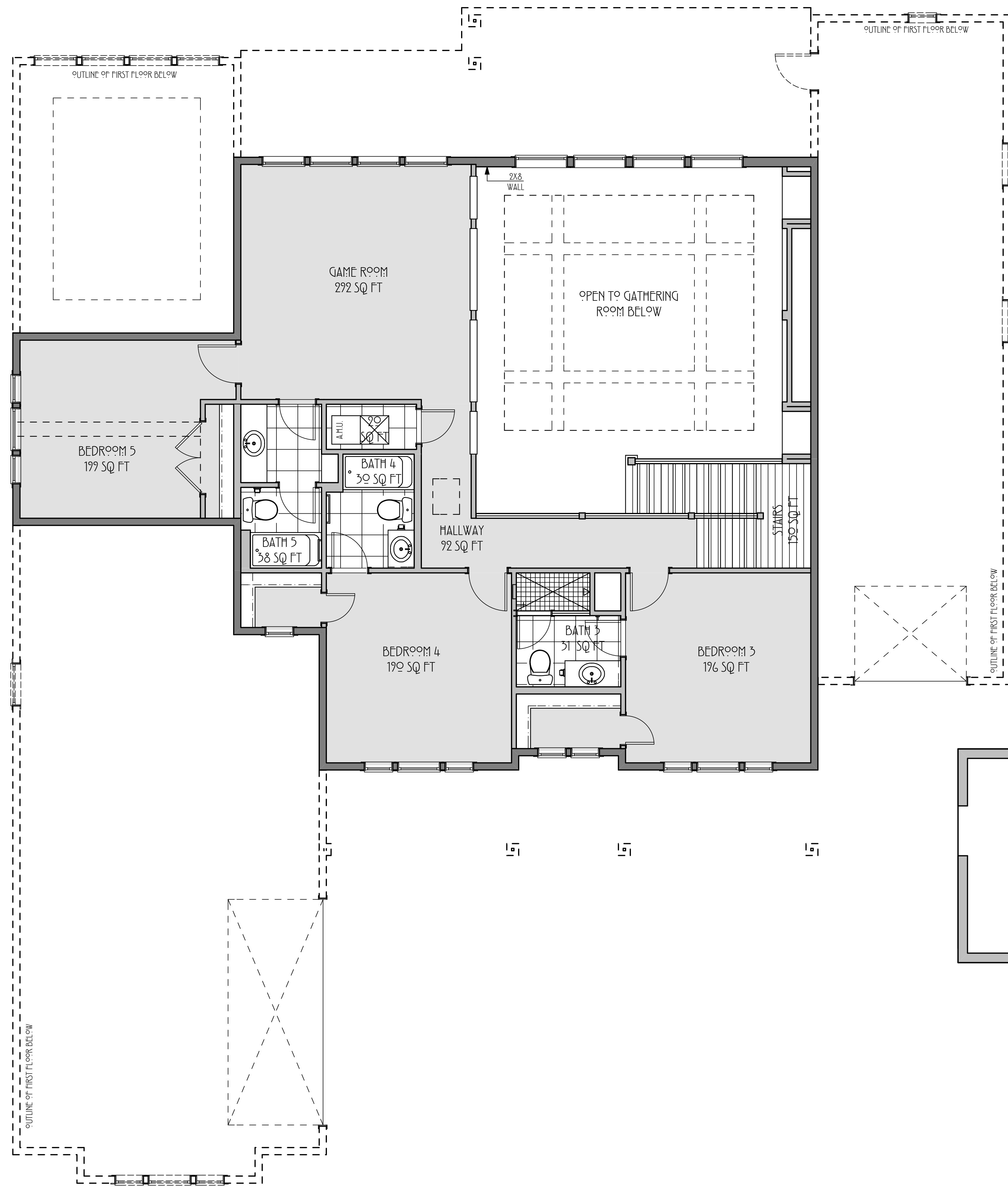
DATE: 3-APR-2016
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
A-3
OF

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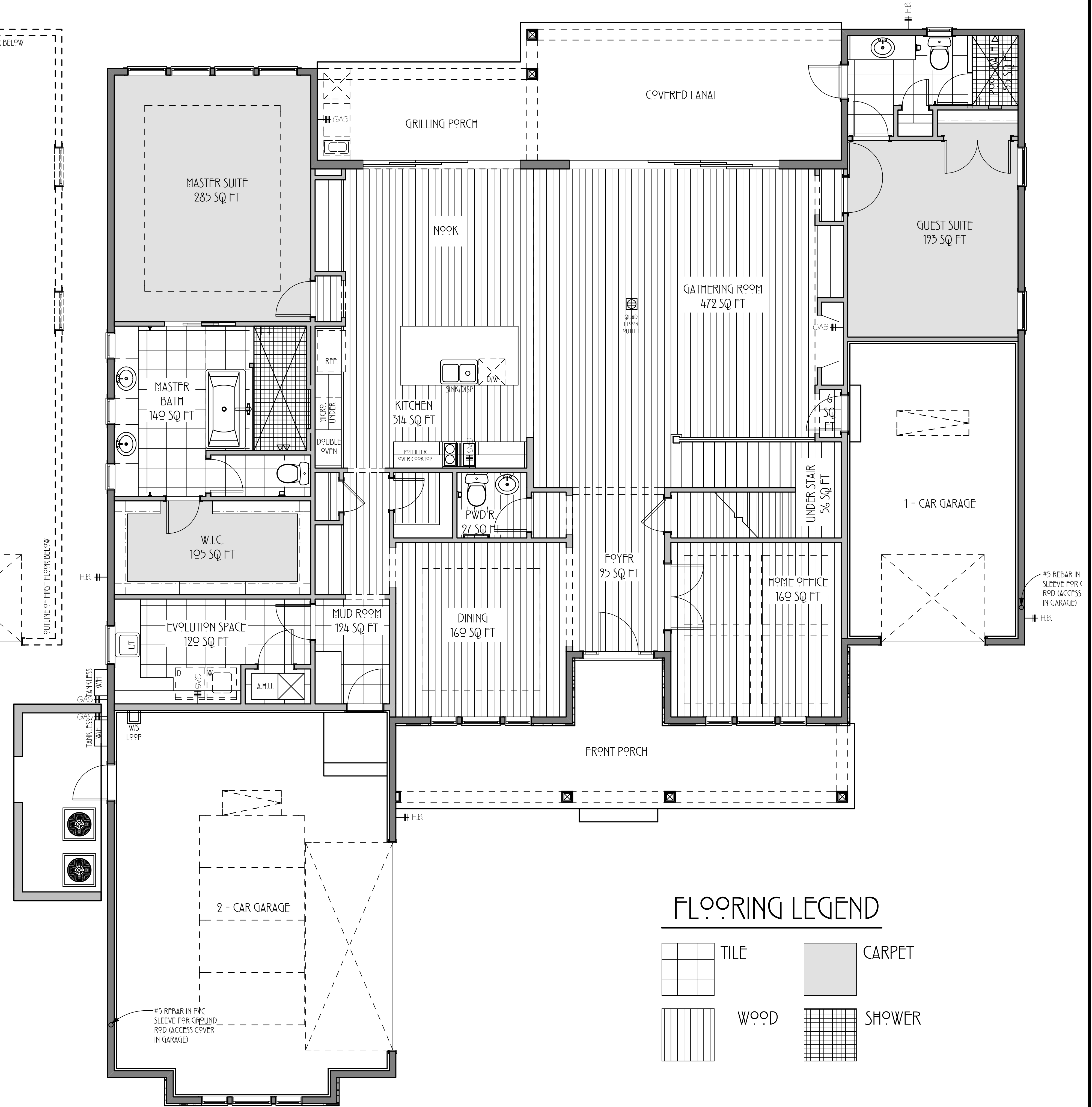
Second Floor Flooring Plan

1/4" = EQUALS 1'-0"

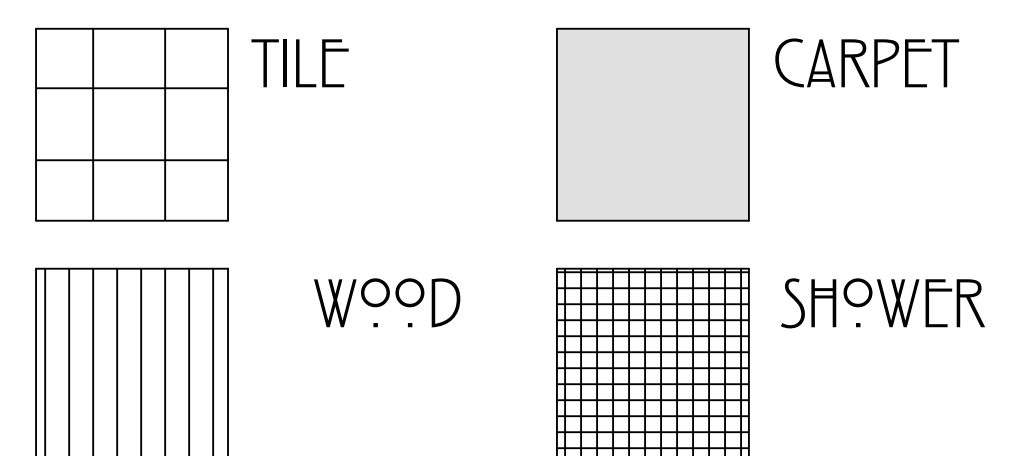


First Floor Flooring Plan

1/4" = EQUALS 1'-0"



FLOORING LEGEND



REVISIONS:



DREAM DESIGN 28
LOT 167, PABLO CREEK RESERVE

4098

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DATE: 3-APR-2016
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
A-4
OF

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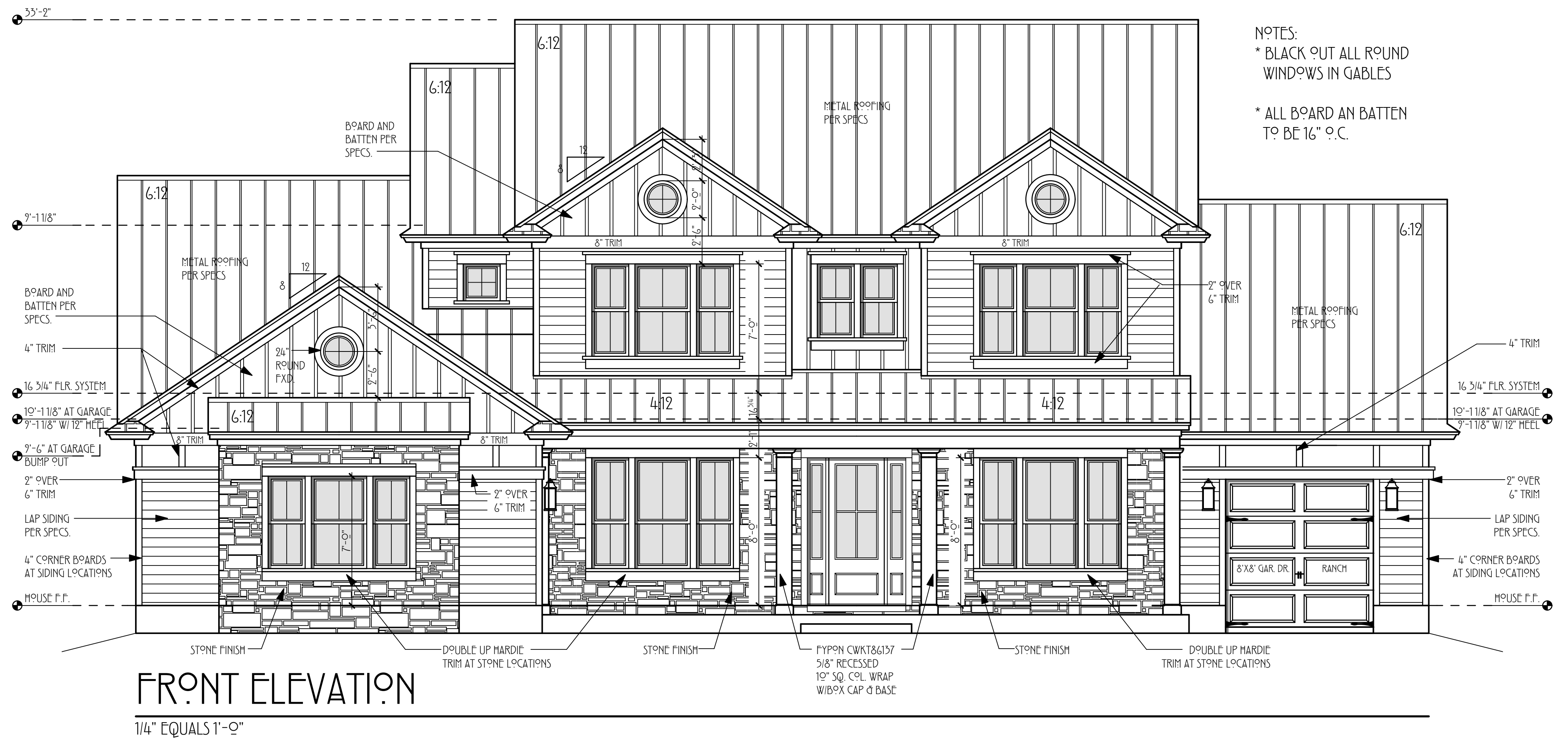
DREAM DESIGN 28
 LOT 167, PABLO CREEK RESERVE

4098

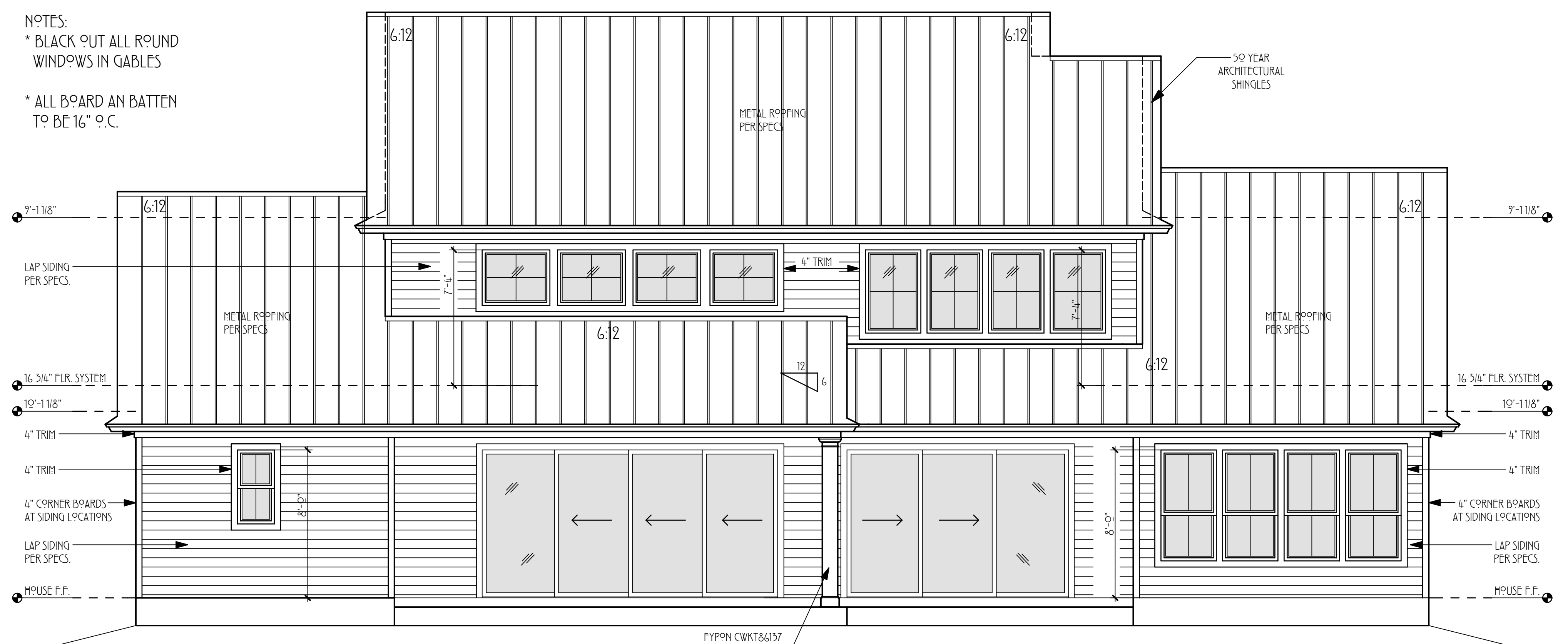
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ENTRY:	242
LANAI:	352
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DATE: 3-APR-2016
 DESIGN BY: SAM CLAUSEN
 DRAWN BY: SAM CLAUSEN

PLAN NO.
A-5
 OF



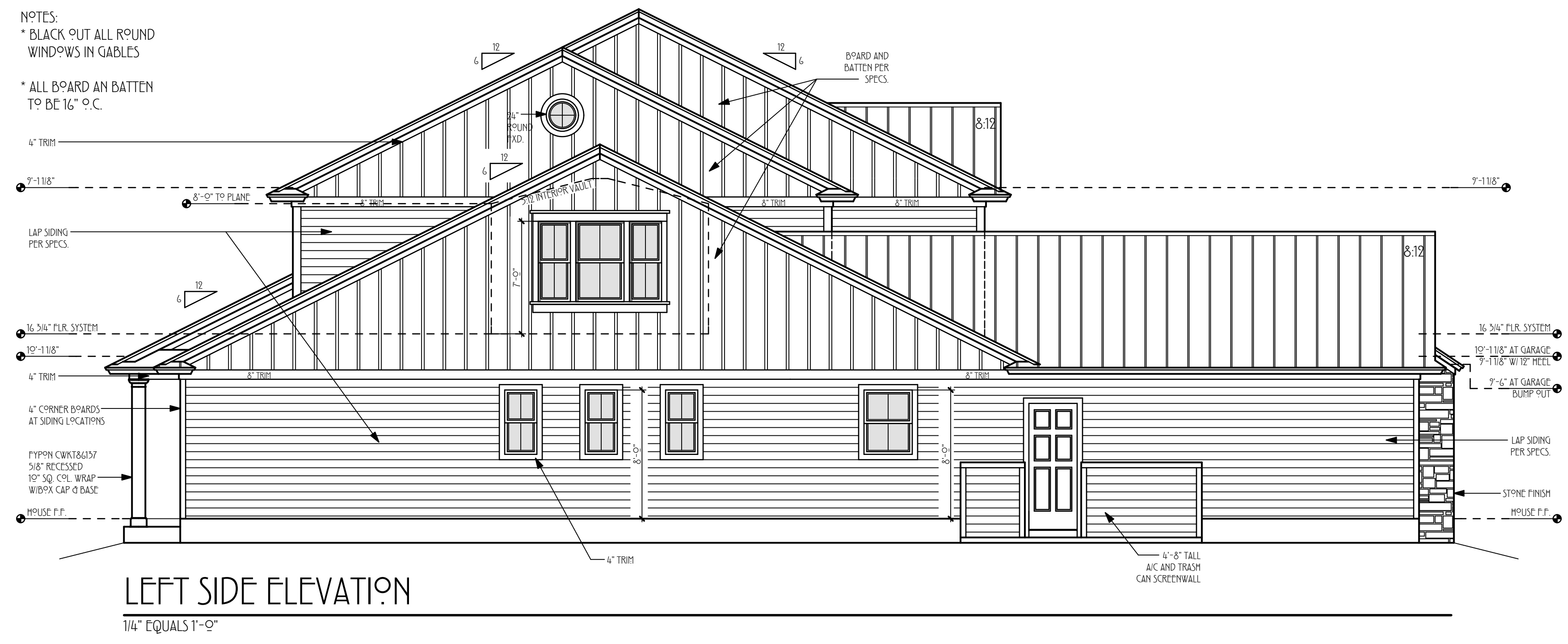
FRONT ELEVATION
 1/4" EQUALS 1'-0"



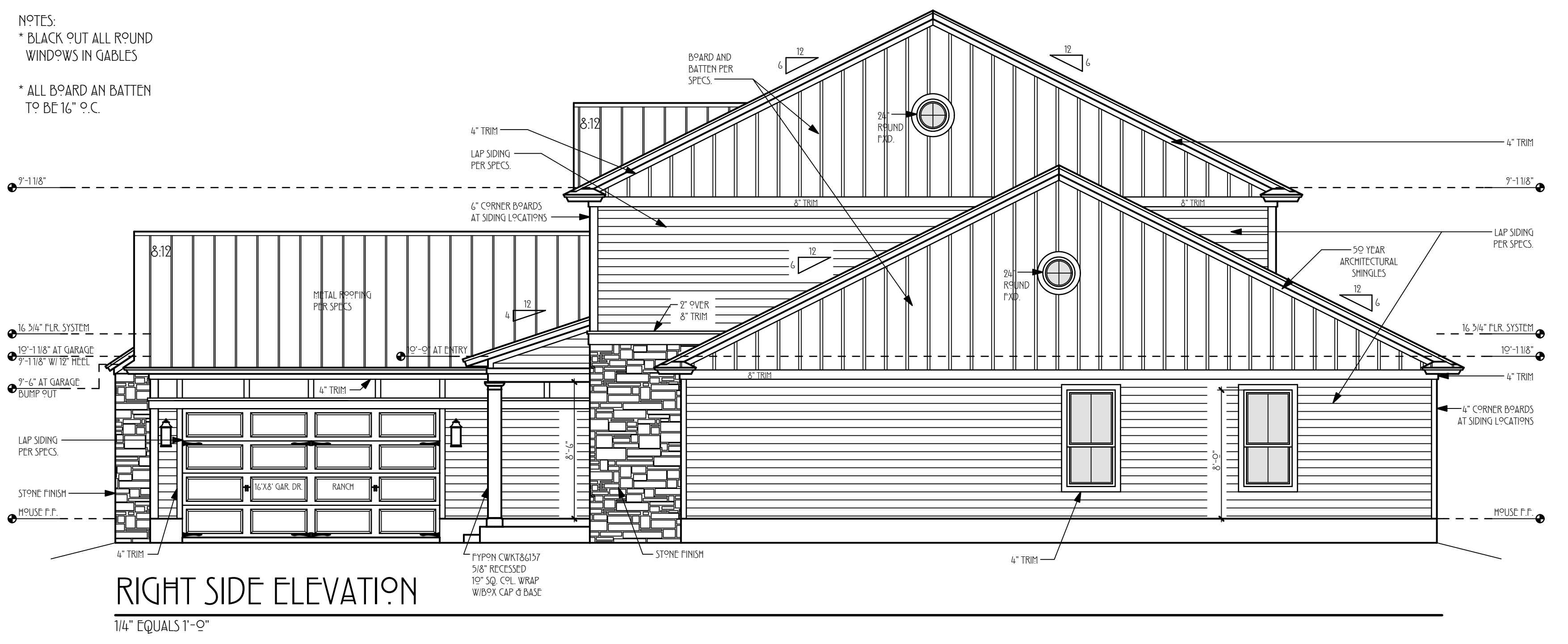
REAR ELEVATION
 1/4" EQUALS 1'-0"

- SIDING NOTES**
- All materials primed
 - Hardie CedarMill Select 7 1/4" (6" reveal) lap siding
 - 5/4 HardieTrim boards, smooth
 - 4" width Hardie panel, smooth
 - 3/4 x 2 3/4 Hardie batten strips, 16" OC, smooth
 - Porch ceiling finish: 1x6 T&G pine - run front to back
 - Pre-fab Fypon CWK186137 5/8" recessed 10" x 10" column wrap with cap and base
 - Installation according to manufacturer's instructions
 - All trim and seams to be straight, plumb and tight
- SOFFIT/FASCIA/PORCH CEILING/GUTTERS NOTES**
- Soffit: smooth ; vented
 - Fascia: HardieTrim board size 6", smooth
 - Porch: by others
 - All materials primed
 - Installer responsible for providing and installing any backing/lurring strips for soffit.
- STONE NOTES**
- Eldorado Stone style, color, mortar (Rough Cut, Falling Spring, gray mortar)
 - Use stone mounts for exterior light fixtures at garage
 - Fireplace stone: see fireplace specifications
 - Stucco: Skip trowel stem wall foundation

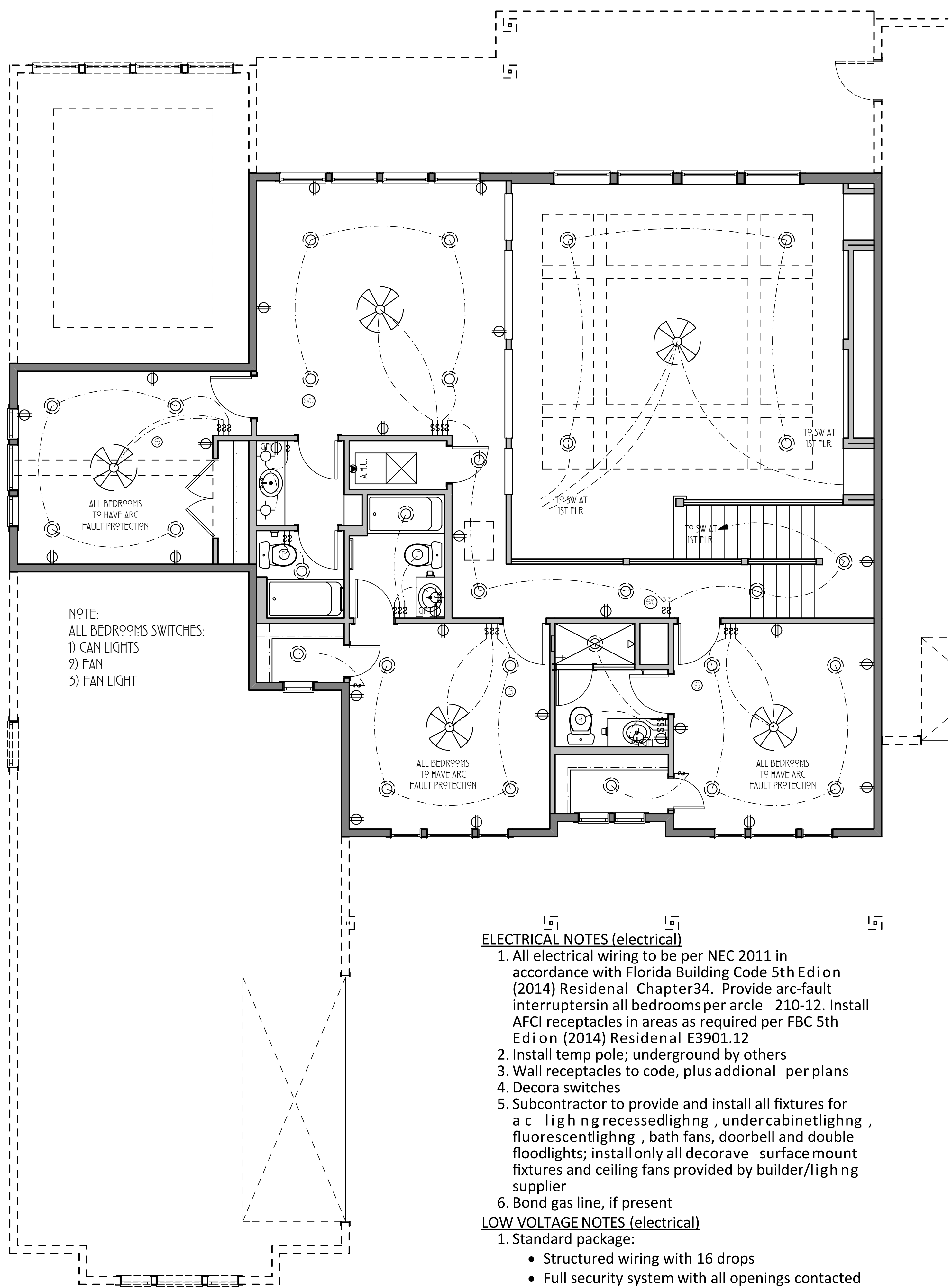
NOTE:
 SIDE ELEVATIONS ARE SHOWN AT
 3/16" TO FIT ON THE PAGE



LEFT SIDE ELEVATION
 1/4" EQUALS 1'-0"



RIGHT SIDE ELEVATION
 1/4" EQUALS 1'-0"



Second Floor Electrical Plan

1/4" EQUALS 1'-0"

ELECTRICAL LEGEND			
	WALL LIGHT FIXTURE		RECESSED CEILING LIGHT FIXTURE
	WATER PROOF OUTLET		SMOKE DETECTOR
	FLOOR OUTLET		TELEPHONE JACK
	RECEPTACLE OUTLET SWITCH ONE LEG		TBM (TELEPHONE CABLE)
	RECESSED EYE LIGHT		CABLE OUTLET
	WALL OUTLET		EXHAUST FAN
	220 WALL OUTLET		FLOOD LIGHTS
	SURFACE MOUNT CEILING LIGHT FIXTURE		SINGLE SWITCH
			3-WAY SWITCH
			4-WAY SWITCH
			PREMISE & BRACE FOR FAN
			FLUORESCENT LIGHT
			FANLIGHT COMBO
			DOORBELL
	SPEAKERS CEILING MOUNT		SPEAKERS WALL MOUNT
	SPEAKER CONTROL		UNDER COUNTER LED LIGHTING
	BUFC LOCATED HOSE BIB		GAS STUB
	SMOKE AND CARBON MONOXIDE DETECTOR		

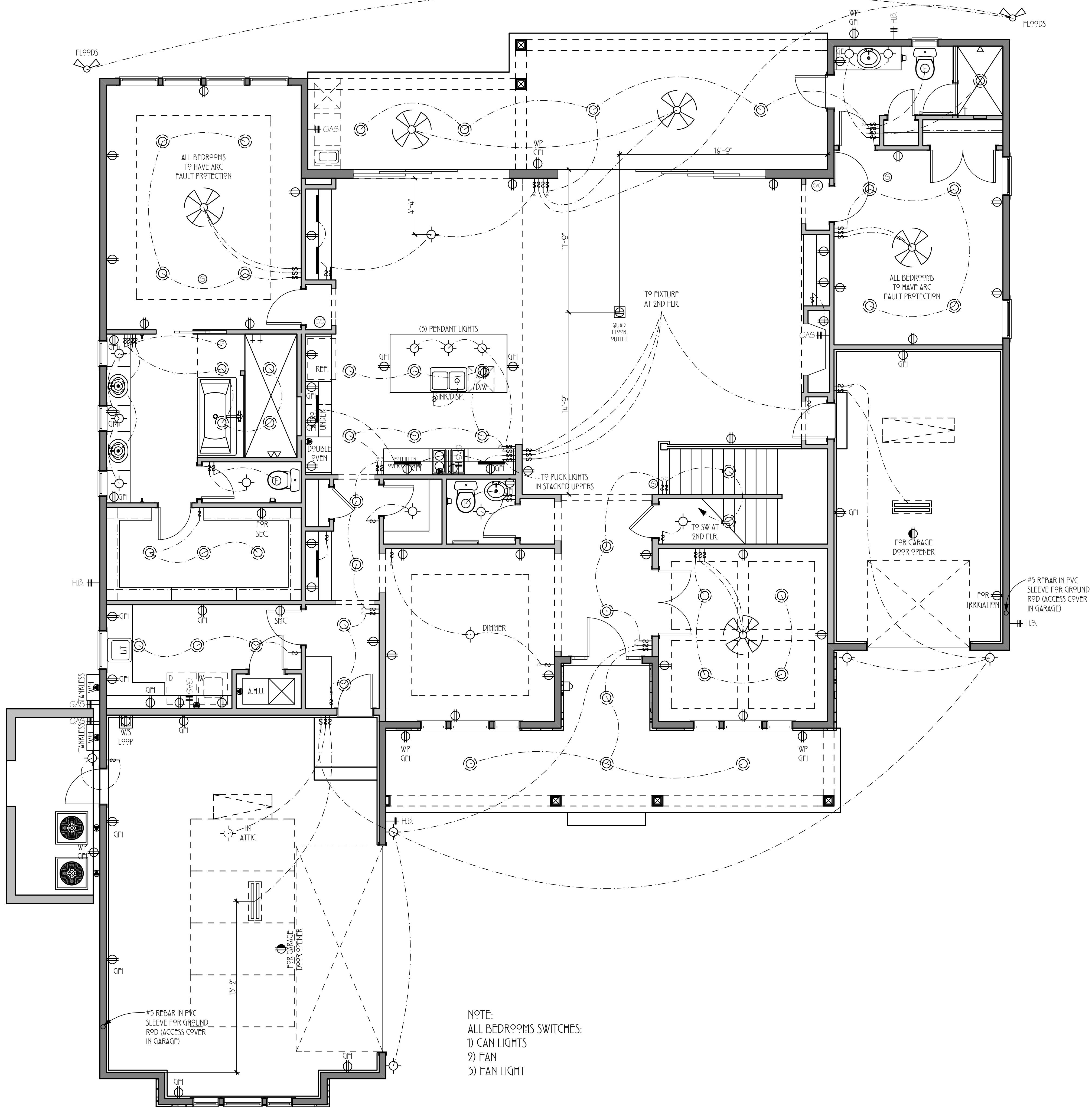
ELECTRICAL NOTES:

ALL ELECTRICAL OUTLETS TO HAVE SAFETY PROTECTION

THE FIRST SWITCH IN ALL BATHROOMS SHOULD BE TO VANITY LIGHTS

SMOKE DETECTORS AND CARBON MONOXIDE DETECTOR AS REQUIRED

LIGHTING MUST INCLUDE A MINIMUM OF 75% HIGH-EFFICACY (CFL OR LED) LAMPS IN PERMANENTLY-INSTALLED FIXTURES. LOW VOLTAGE APPLICATIONS EXCEPTED



First Floor Electrical Plan

1/4" EQUALS 1'-0"

- ELECTRICAL NOTES (electrical)**
- All electrical wiring to be per NEC 2011 in accordance with Florida Building Code 5th Edition (2014) Residential Chapter 34. Provide arc-fault interrupters in all bedrooms per article 210-12. Install AFCI receptacles in areas as required per FBC 5th Edition (2014) Residential E3901.12
 - Install temp pole; underground by others
 - Wall receptacles to code, plus additional per plans
 - Decora switches
 - Subcontractor to provide and install all fixtures for a ceiling recessed lighting, under cabinet lighting, fluorescent lighting, bath fans, doorbell and double floodlights; install only all decorative surface mount fixtures and ceiling fans provided by builder/lighting supplier
 - Bond gas line, if present
- LOW VOLTAGE NOTES (electrical)**
- Standard package:
 - Structured wiring with 16 drops
 - Full security system with all openings contacted and two keypads
 - Surround sound pre-wire in great room with speaker locations capped
 - Additional items per homeowner selection at showroom visit
 - Provide updated quote and mark-up to builder after showroom visit and include additional corresponding electrical needs, if any

REVISIONS:



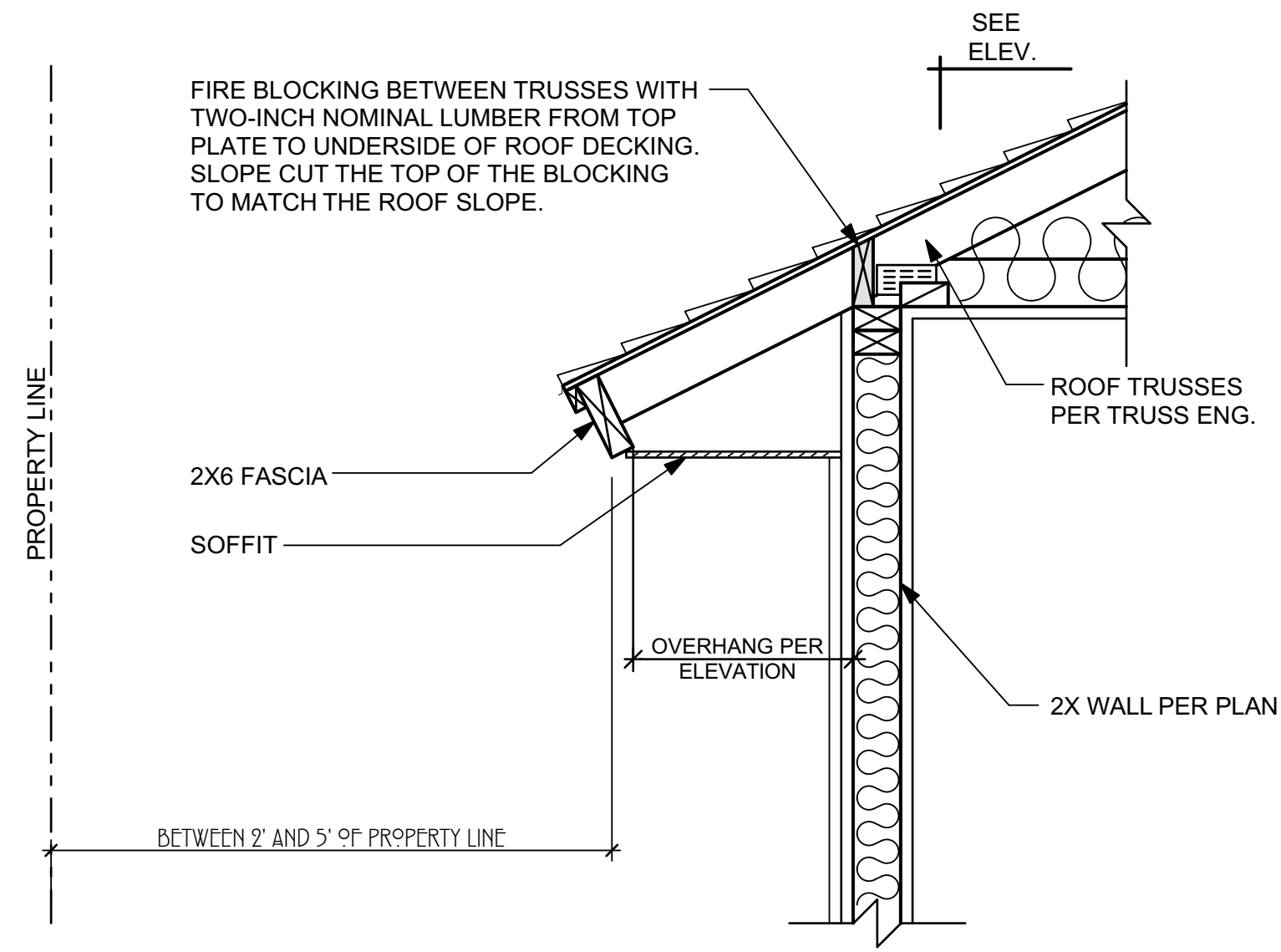
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LOT 167, PABLO CREEK RESERVE

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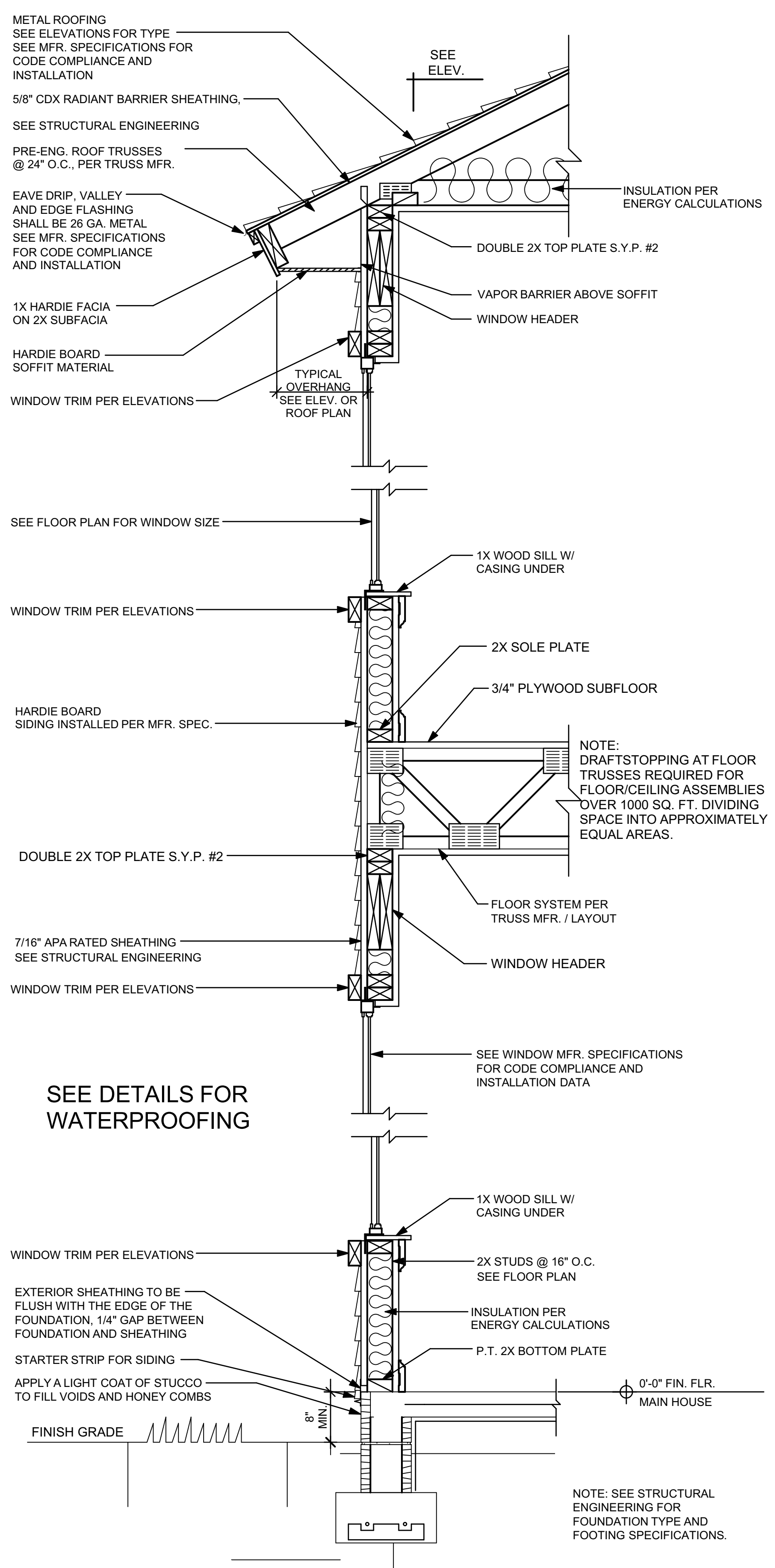
PLAN NO.
E-1
OF



REFERENCE ROOF PLAN FOR LOCATIONS OF OVERHANG FIRE BLOCKING AS REQUIRED.
OVERHANGS SHALL BE FIRE BLOCKED BETWEEN THE TRUSS BAYS WHEN LOCATED BETWEEN 2' AND 5' OF THE PROPERTY LINE.

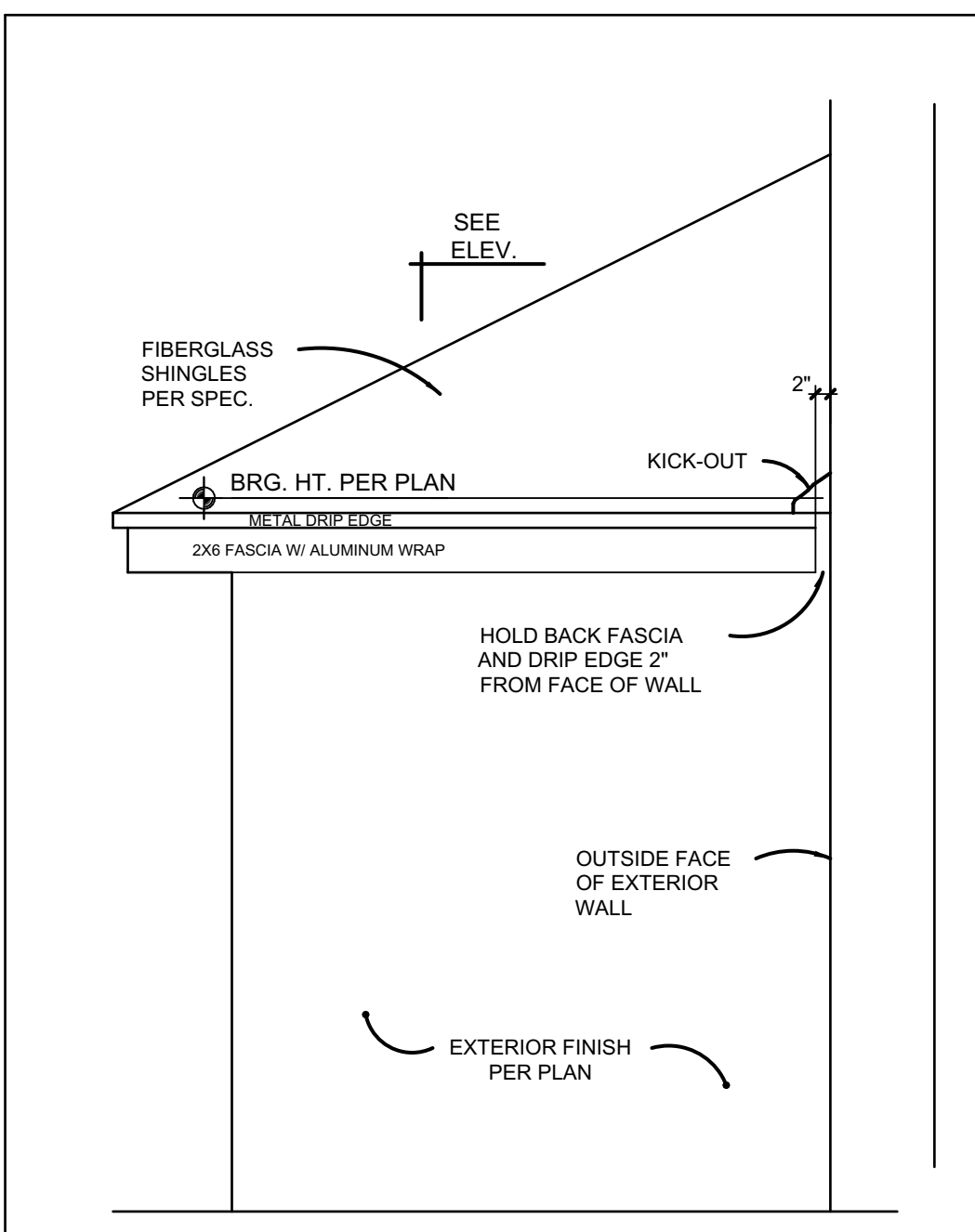
FIRE BLOCKING AT OVERHANG

SCALE: N.T.S.



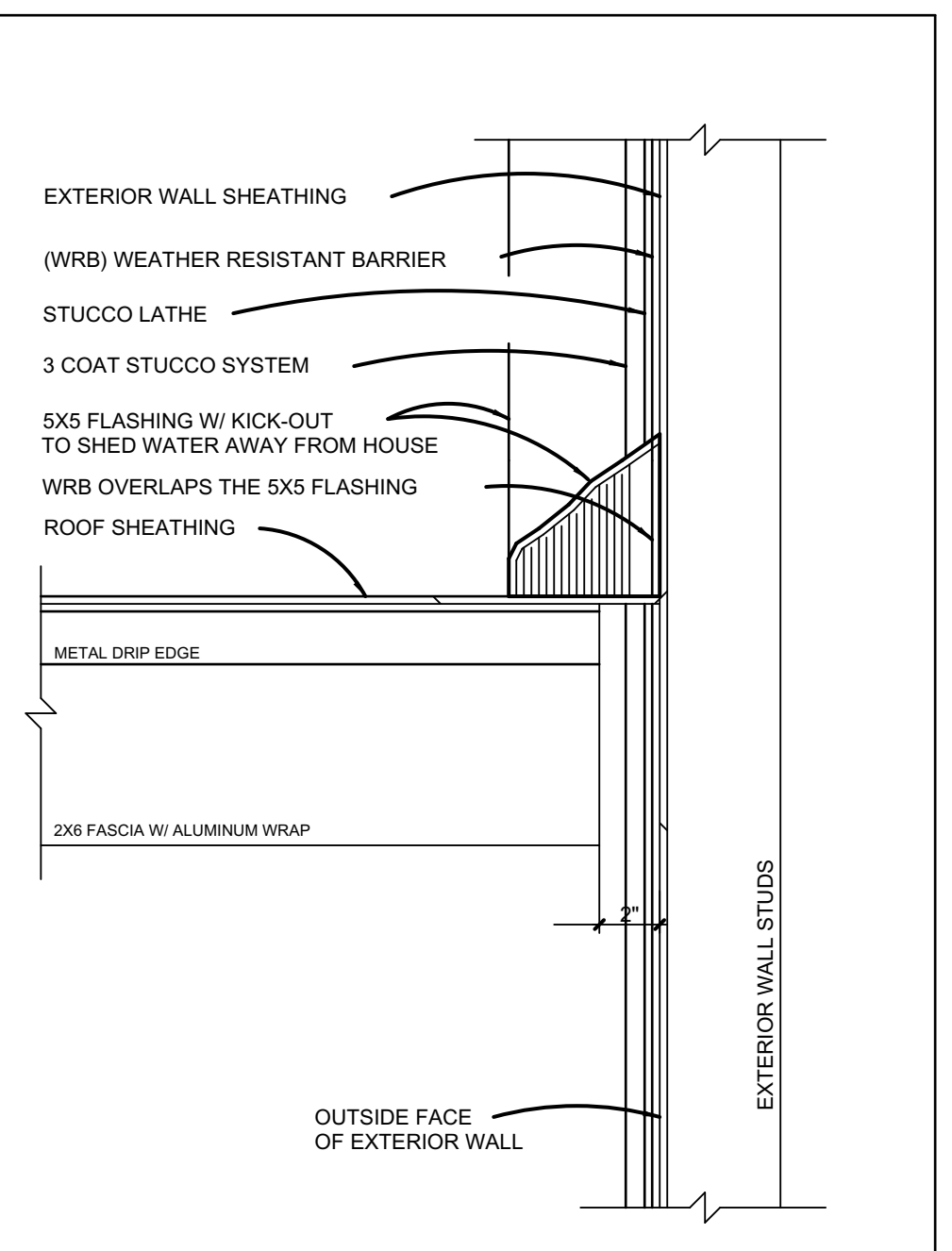
2-STORY FRAME WALL SECTION WITH SIDING - STEMWALL

SCALE: N.T.S.



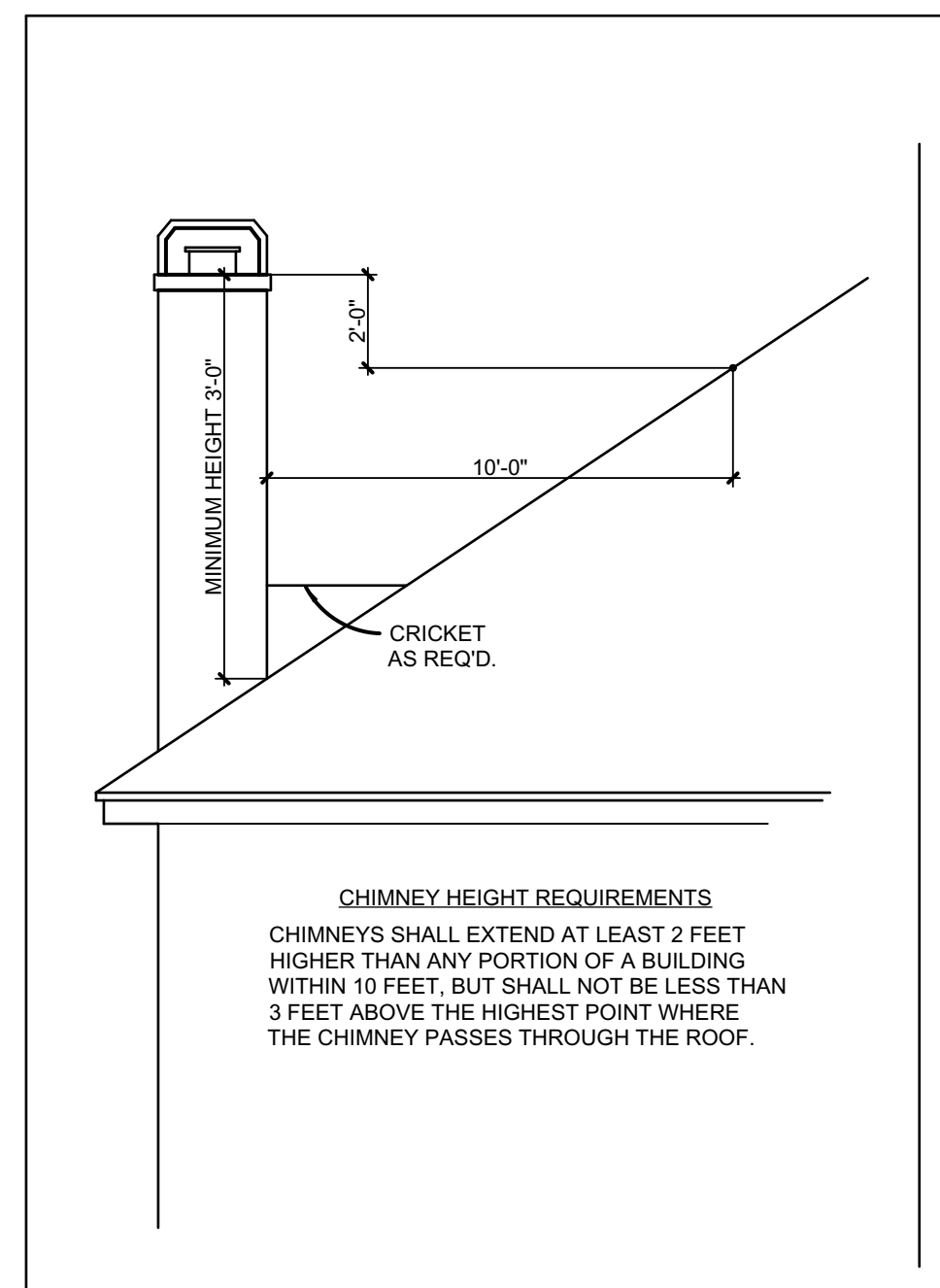
WALL AND ROOF INTERSECTION FLASHING

SCALE: N.T.S.



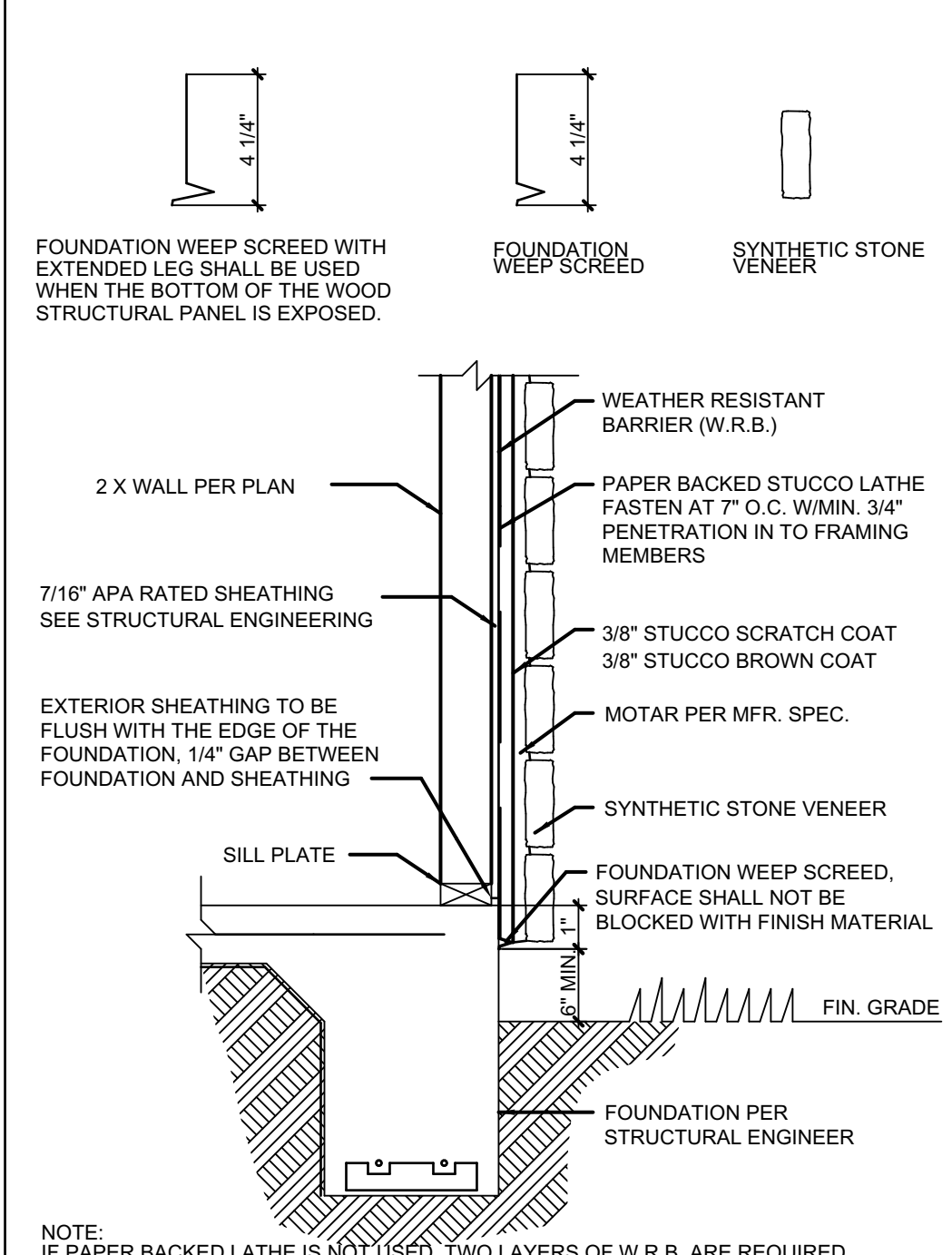
GABLE HIP RETURN FLASHING

SCALE: N.T.S.



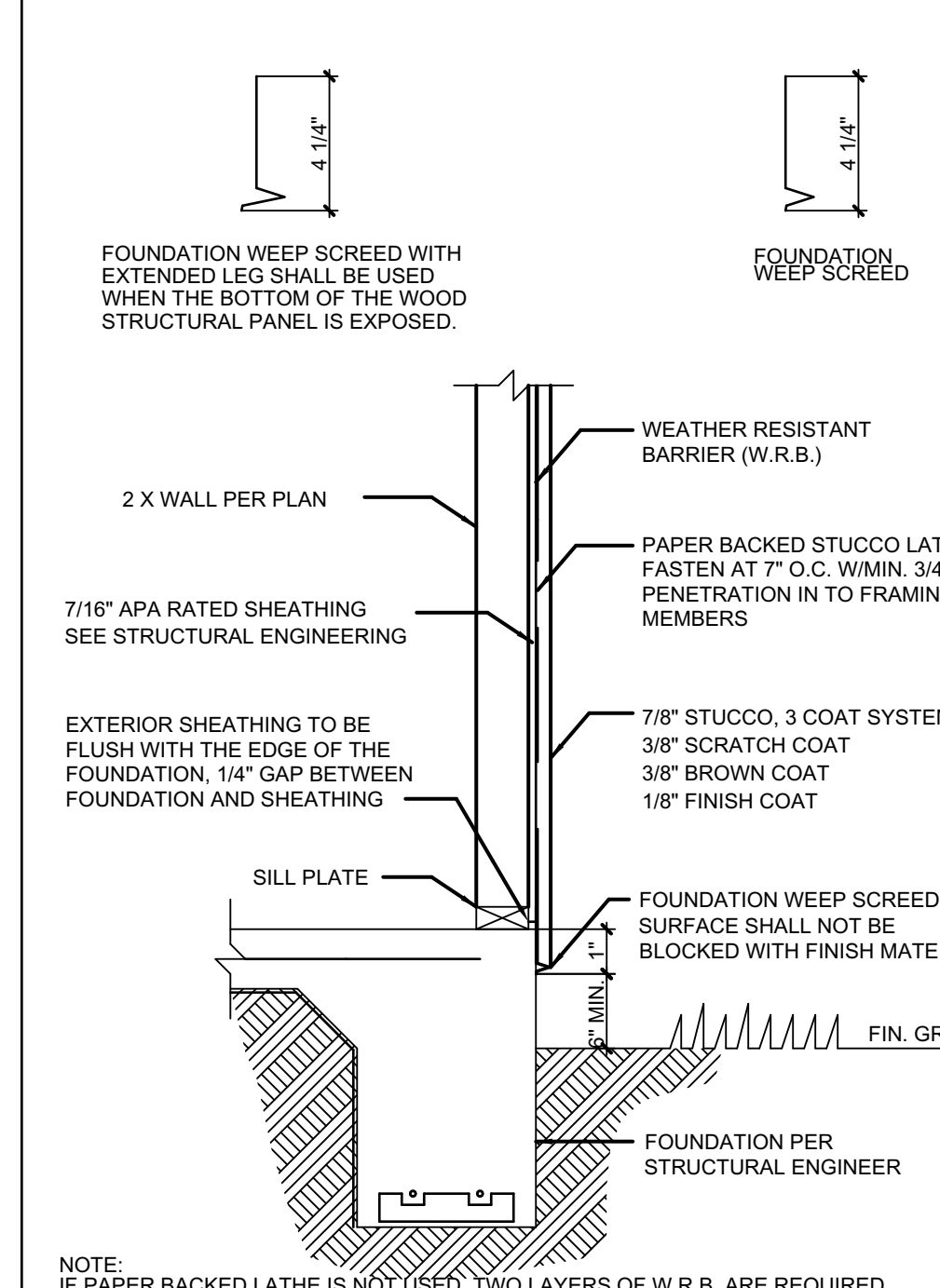
CHIMNEY FRAMING & FLASHING

SCALE: N.T.S.



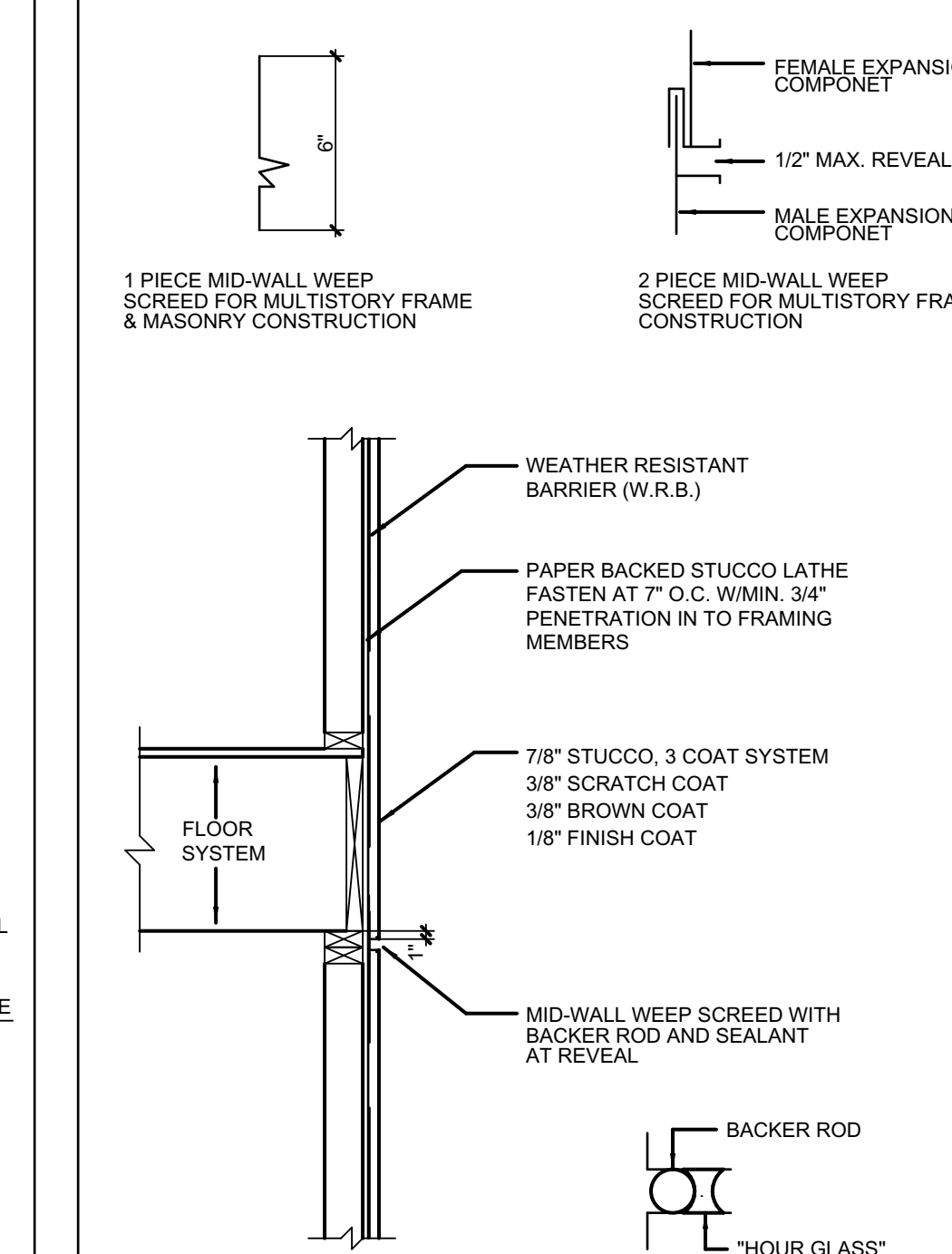
STONE VENEER FLASHING

SCALE: N.T.S.



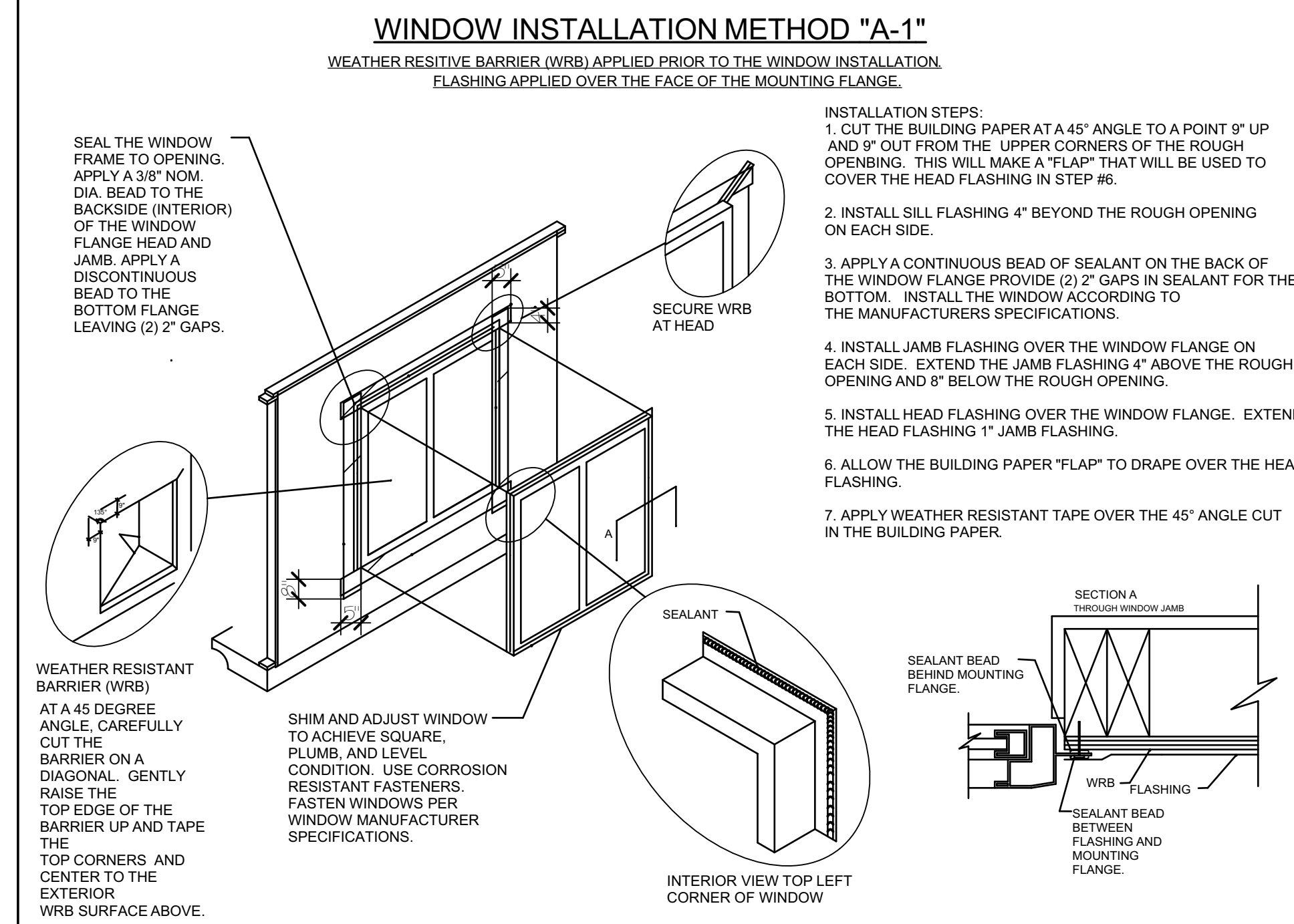
STUCCO FLASHING

SCALE: N.T.S.



MID-WALL WEEP SCREED

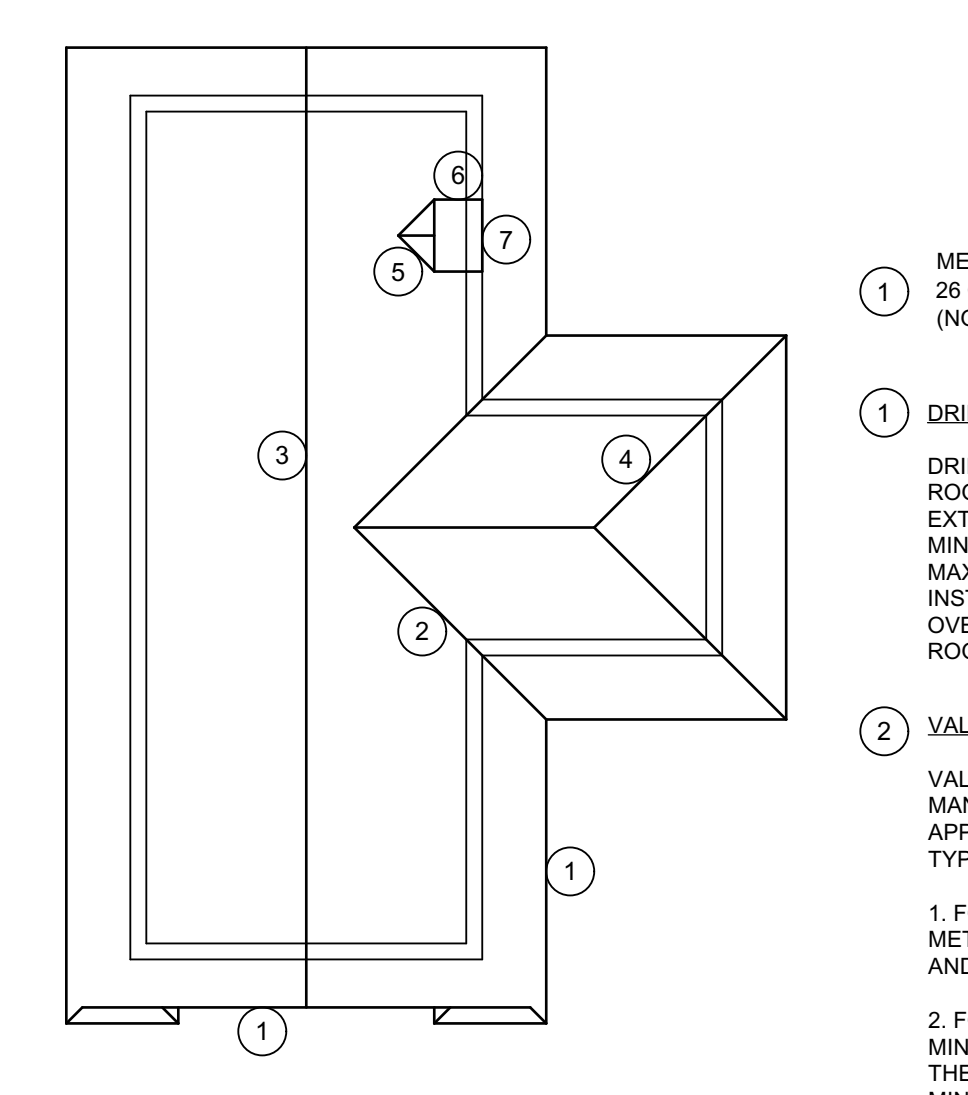
SCALE: N.T.S.



WINDOW INSTALLATION METHOD "A-1"

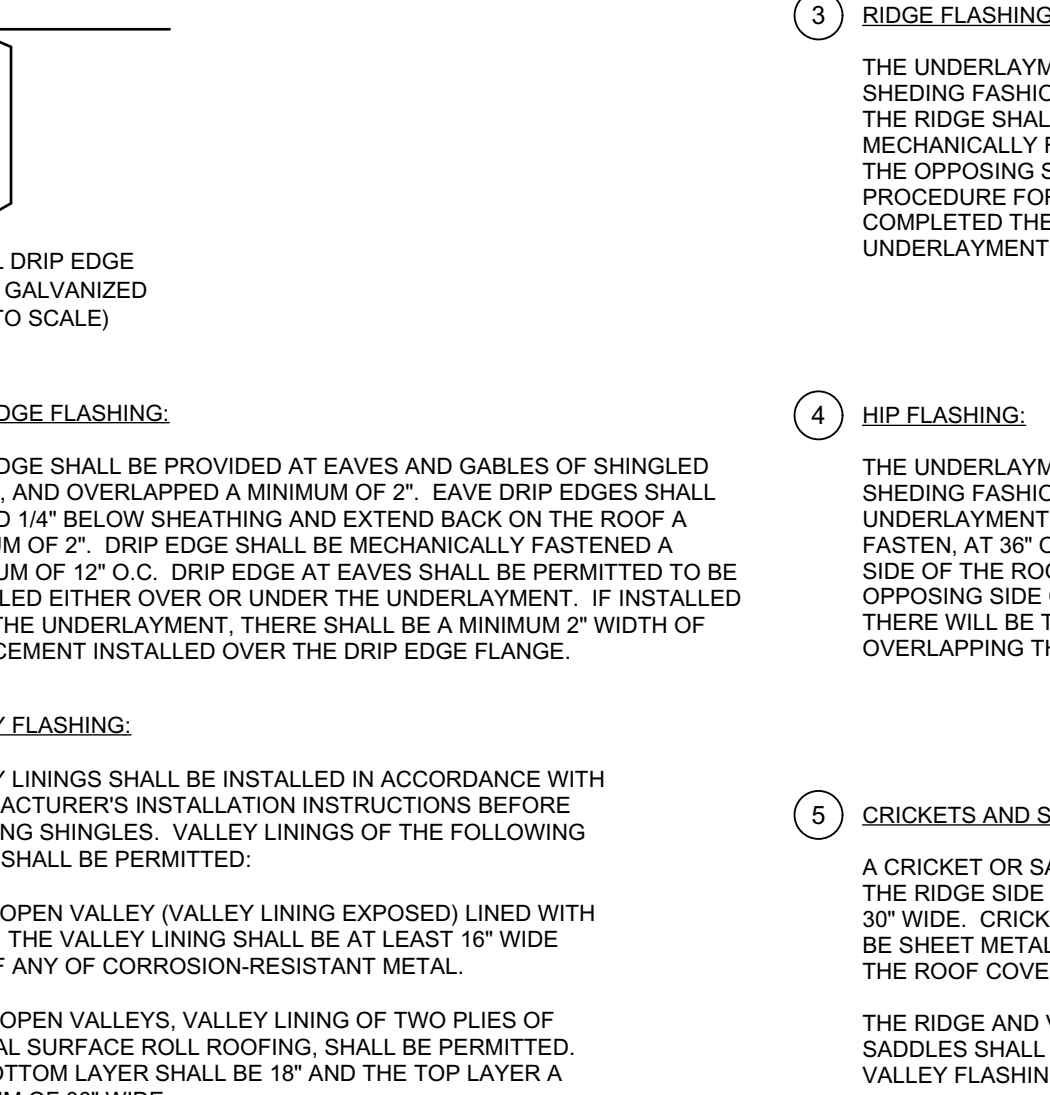
SCALE: N.T.S.

DETAILS FOR: FLORIDA BUILDING CODE RESIDENTIAL 5TH EDITION



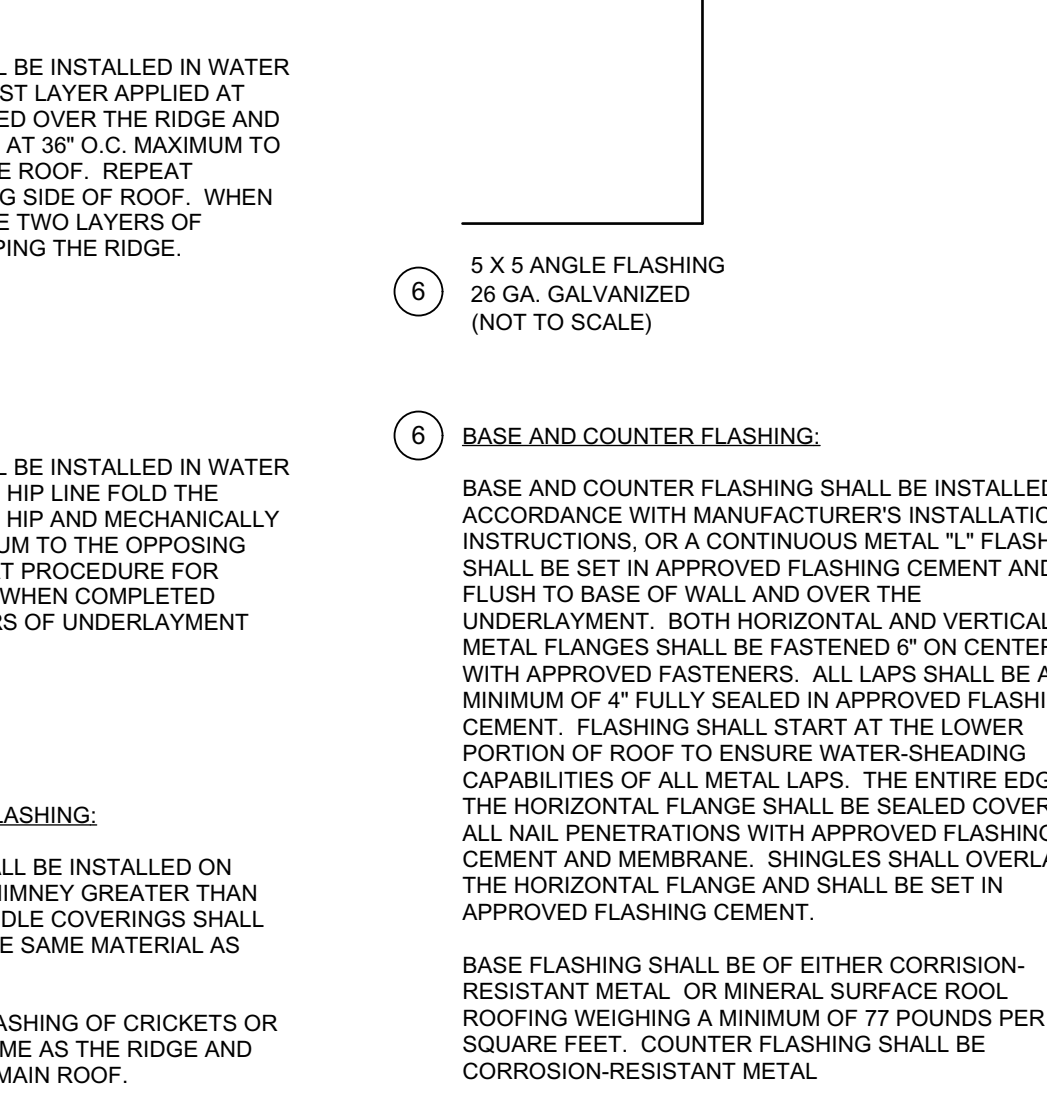
ROOF FLASHING

SCALE: N.T.S.



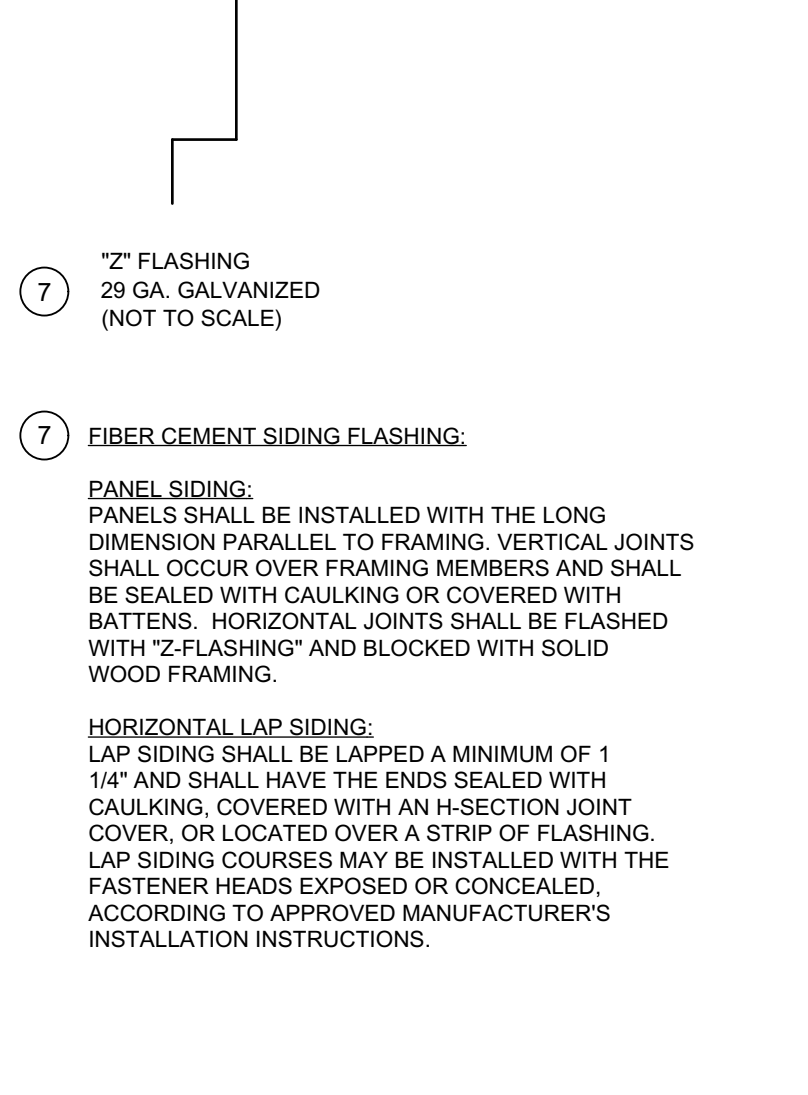
RIDGE FLASHING

SCALE: N.T.S.



HIP FLASHING

SCALE: N.T.S.



VALLEY FLASHING

SCALE: N.T.S.

REVISIONS:



DREAM DESIGN 28
LOT 167, PABLO CREEK RESERVE

4098

LIVING 1:	2812
LIVING 2:	1286
TOTAL A/C:	4098
GARAGE:	955
ENTRY:	242
LANAI:	352
TOTAL:	5647

DATE: 3-APR-2016
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
F-1
FLASHING DETAILS
OF