



# DreamDesign 29

## Sieburg



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### REVISION INDEX

REV #	DISCRPTION:	DATE:	DRAWN BY:	FOUNDATION REQUIRED:	ENGINEERING REQUIRED:
1.	ADDED A 4 COURSE STEM WALL AND CRAWL SPACE TO FRONT PORCH	07.25.16	PATRICK MANGUS	YES	YES
2.	ADDED A 5'X15' GRILLING PORCH OFF OF THE CASUAL DINING ROOM	07.28.16	PATRICK MANGUS	YES	YES
3.	MADE COST SAVING CHANGES TO WINDOWS, BRACKETS, & STAIRS	09.15.16	PATRICK MANGUS	NO	YES

### AREA EVALUATION

<b>FIRST FLOOR-</b>	<b>2234 SQFT</b>
<b>SECOND FLOOR-</b>	<b>603 SQFT</b>
<b>TOTAL HVAC-</b>	<b>2837 SQFT</b>
<b>GARAGE-</b>	<b>852 SQFT</b>
<b>COV. ENTRY-</b>	<b>308 SQFT</b>
<b>COV. PORCH-</b>	<b>238 SQFT</b>
<b>GRILLING PORCH-</b>	<b>75 SQFT</b>
<b>TOTAL UNDER ROOF-</b>	<b>4283 SQFT</b>

**OVER ALL 69'-0"X 102'-6"**  
**HIGHEST PEAK 26'-4"**

#### General Notes

1. ALL EXTERIOR WALLS SHALL BE ASSUMED TO BE LOAD BEARING. SEE STRUCTURAL FLOOR PLAN AND FOUNDATION PLAN FOR WALL REINFORCEMENT LOCATIONS.
2. WINDOW AND DOOR SUPPLIERS SHALL PROVIDE CURRENT ROUGH OPENING INFO WHICH SHALL HAVE PRECEDENCE OVER THE WINDOW AND DOORS LABELED ON PLAN.
3. CABINET MFRS. SHOP DRAWINGS SHALL HAVE PRECEDENCE OVER THE INTERIOR CABINET ELEVATIONS SHOWN.
4. DO NOT SCALE PLANS. DIMENSIONS ARE TO BE FOLLOWED AS NOTED.
5. ALL GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL COMPLY WITH SECTION R308 OF THE FLORIDA BUILDING CODE RESIDENTIAL.
6. INTERIOR TO GARAGE DOOR MUST BE EITHER 1-3/8" SOLID WOOD, SOLID OR HONEYCOMB STEEL, OR 20 MIN. FIRE RATED DOOR.
7. DRYER VENTS TO BE PLACED BEHIND THE DRYER LOCATION AND TO BE NO MORE THAN 25'-0" LONG.
8. IF WATER BASED CEILING TEXTURE MATERIAL IS USED, PROVIDE 1/2" GYPSUM BOARD FOR 16" O.C. FRAMING, OR 5/8" GYPSUM BOARD FOR 24" O.C. FRAMING. NOTE: 1/2" SAG-RESISTANT GYPSUM BOARD MAY BE USED I.L.O. OF 5/8" GYPSUM.
9. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" (15.9 MM) TYPE X GYPSUM BOARD OR EQUIVALENT WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM BOARD OR EQUIVALENT.
10. ANY ACCESSIBLE SPACE UNDER A STAIRWAY SHALL BE PROTECTED WITH 1/2" GYPSUM.
11. ATTIC ACCESS: PROVIDE 20 MIN. FIRE RATING AT ACCESS PANEL.
12. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 MM) SHEET STEEL, 1 INCH MINIMUM RIGID NONMETALLIC CLASS 0 OR CLASS DUCT BOARD, OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

CURRENT BUILDING CODE.....2014  
 RESIDENTIAL  
 OCCUPANCY CLASSIFICATION..... R3  
 CONSTRUCTION TYPE.....5B

No.	DELETED WINDOWS	9.15.16
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No.	Revision/Issue	Date
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#### Firm Name and Address

STARR CUSTOM HOMES  
 SHAWN STARR,CBC1255550  
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 -INTERIOR DESIGNER:  
 MS J DESIGN  
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 904-806-2478

-ENGINEER:  
 LOU PONTIGO &  
 ASSOCIATES  
 LOU PONTIGO  
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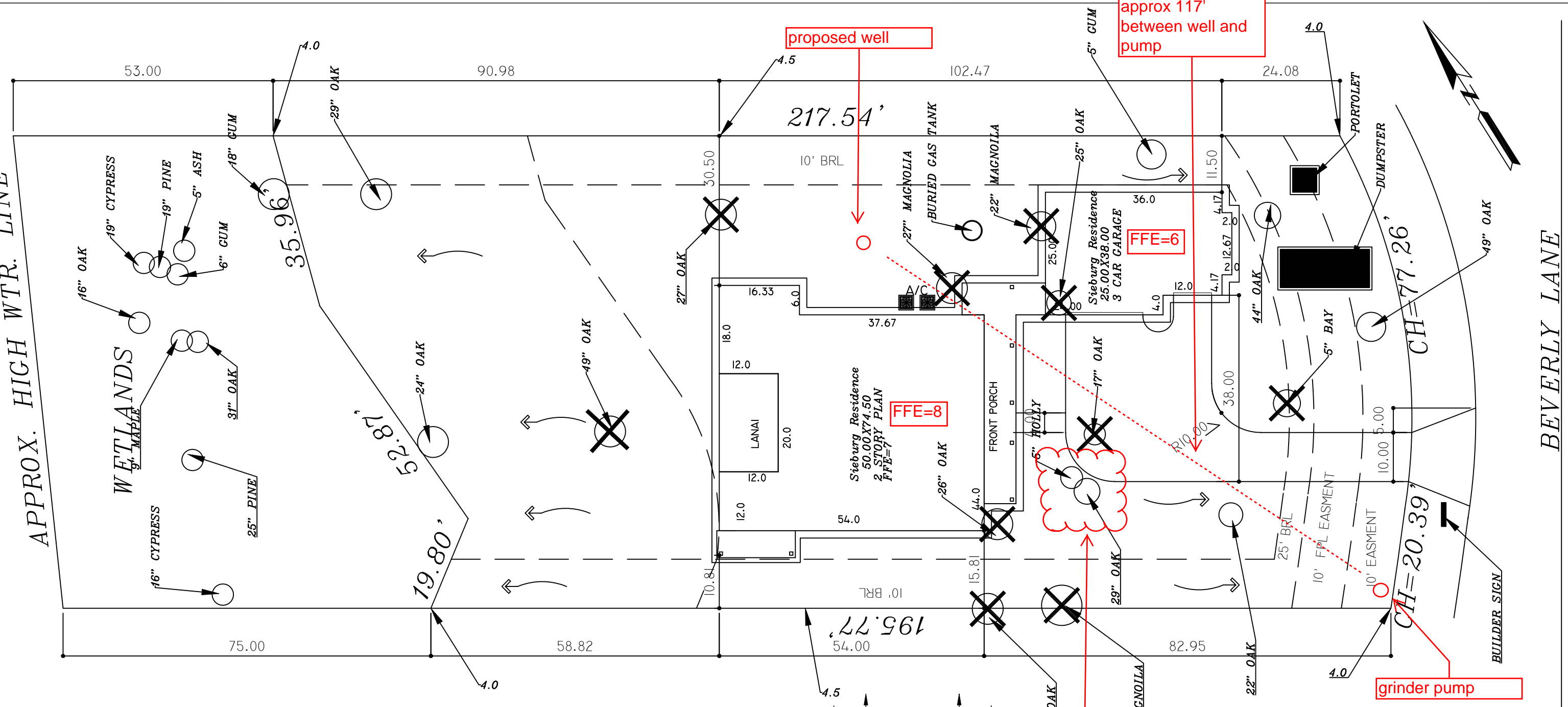
#### Project Name and Address

SIEBURG RESIDENCE  
 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

Project	Sheet
Date 05.12.16	1 of 14
Scale 1/4"=1'-0"	COVER SHEET NOTES

APPROX. HIGH WTR. LINE

BEVERLY LANE



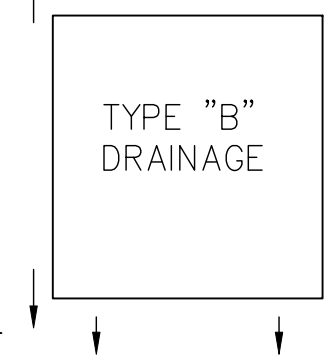
X REPRESENTS TREES TO BE REMOVED

**GENERAL NOTES:**  
 - ALL SIDEWALK AND FLAT WORK SHALL, AT A MIN, MEET CURRENT ST. JOHNS COUNTY AND ADA STANDARDS. CROSS SLOPES SHALL BE NO MORE THEN 2% AND RUNNING SLOPE NOT TO EXCEED 5% THE PORTION OF THE SIDEWALK WHICH TRANSVERSES THROUGH THE DRIVEWAY APRON SHALL ALSO MEET THIS REQUIREMENT. ALSO, UTILITES (METER BOXES, VALVES, ETC.) SHALL NOT BE INSTALLED WITHIN THE SIDEWALK.  
 - ALL DIMENSIONS/SETBACKS ARE MEASURED TO THE WALL OF THE HOUSE, HOUSE WITH ALLOWED PROJECTIONS INTO ALL SETBACKS UP TO 2.5'  
 - SILT FENCES TO BE OUT AROUND THE PROPERTY LINE  
 - 70% OF REQUIRED PLANTED TREES SHALL BE CANOPY TYPE, WITH NO MORE THAN 1/4 OF THE SAME SPECIES  
 - SEE STRUCTAL SHEETS FOR WIND LOADS  
 - SIDE ARE MEASURED TO WALLS, THE MIN. DISTANCE BETWEEN BUILDINGS (EAVE TO EAVE) SHALL BE 10'

HEATED & COOLED	2803
TOTAL UNDER ROOF	4203
LOT SIZE=	26639
TOTAL BLG=	3676
IMPERVIOUS=	2083

TYPE	*	AMT	CREDIT EACH	TOTAL
☒ = 3" Crape Myrtles	NC	2	3	6
☒ = 3" Southern Magnolias	CF	2	3	6
☒ = 3" MAPLE	CF	2	3	6
TOTAL CREDITS FOR PLANTED TREES				12

\* CF = CANOPY & FLOWERING TREES / NC = NON CANOPY TREES



trees no longer exist; fell down in hurricane

LOT 6 COLEE COVE LANDING NORTH  
 PLAT BOOK 65 PAGE 21-25  
 OF THE CURRENT PUBLIC  
 RECORDS OF ST. JOHNS COUNTY,  
 FLORIDA.

PLAN ACCEPTANCE SIGN-OFF

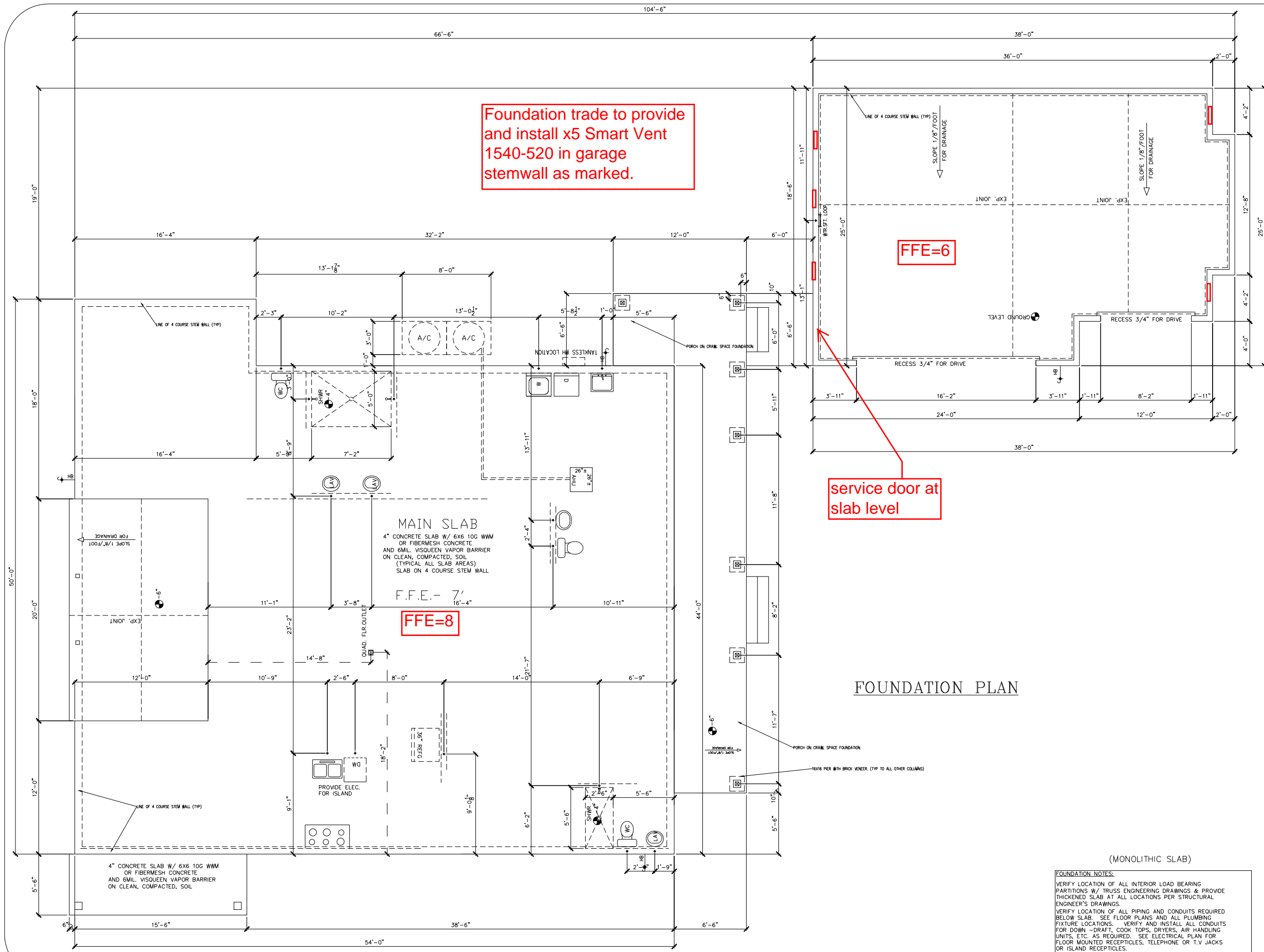
These plans have been customized to meet your individual needs, and may vary from any model, specifications, or other documents you have seen previously. Please refer to your contract - Paragraph 11-E for complete disclosure. Any future changes by the Buyer must be in written form and signed by the Builder.

Buyer: \_\_\_\_\_ Date: \_\_\_\_\_  
 Buyer: \_\_\_\_\_ Date: \_\_\_\_\_

**LOT 6  
 COLEE COVE LANDING NORTH**

CLIENT: SIEBURG PLAN: DB29

CONCRETE SQUARE FOOTAGES (±) FLOOD ZONE X  
 DRIVEWAY: 2043 ENTRY WALK: 40 STREET WALK: XXX  
 DATE: 5.1.16 SCALE: 1" = 20'-0"  
 REVISED: 7.25.16 DRAWN BY: PM  
 REVISED: XX



General Notes

**PLUMBING NOTES**

1. install in-stub AC chase for all first-floor units
2. Individually cap supply lines at kitchen island; do not loop
3. Secure pedestal sinks, free standing vanities, etc. to wall per manufacturer's instructions
4. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
5. Plumber to provide appropriate valves, tub waste, good toilet seats, etc., that are not specified on fixture list
6. Review location of plumbing to upper floor with builder prior to installation.
7. All shower heads @ 84" AFF

**TERMITE TREATMENT NOTES**

1. Treat all framing with BoroCore per manufacturer's instructions
2. Provide renewable termite bond with minimum \$250,000 coverage

**GENERAL NOTES:**

- A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE PRIOR TO FRAMING INSPECTION. OR ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING STRECHED FROM MARKER TO MARKER TO VERIFY REQUIRED SETBACKS

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

Firm Name and Address

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SHAWN STARR, CBC1255550  
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-ENGINEER:  
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Project Name and Address

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COLEE COVE LOT 6

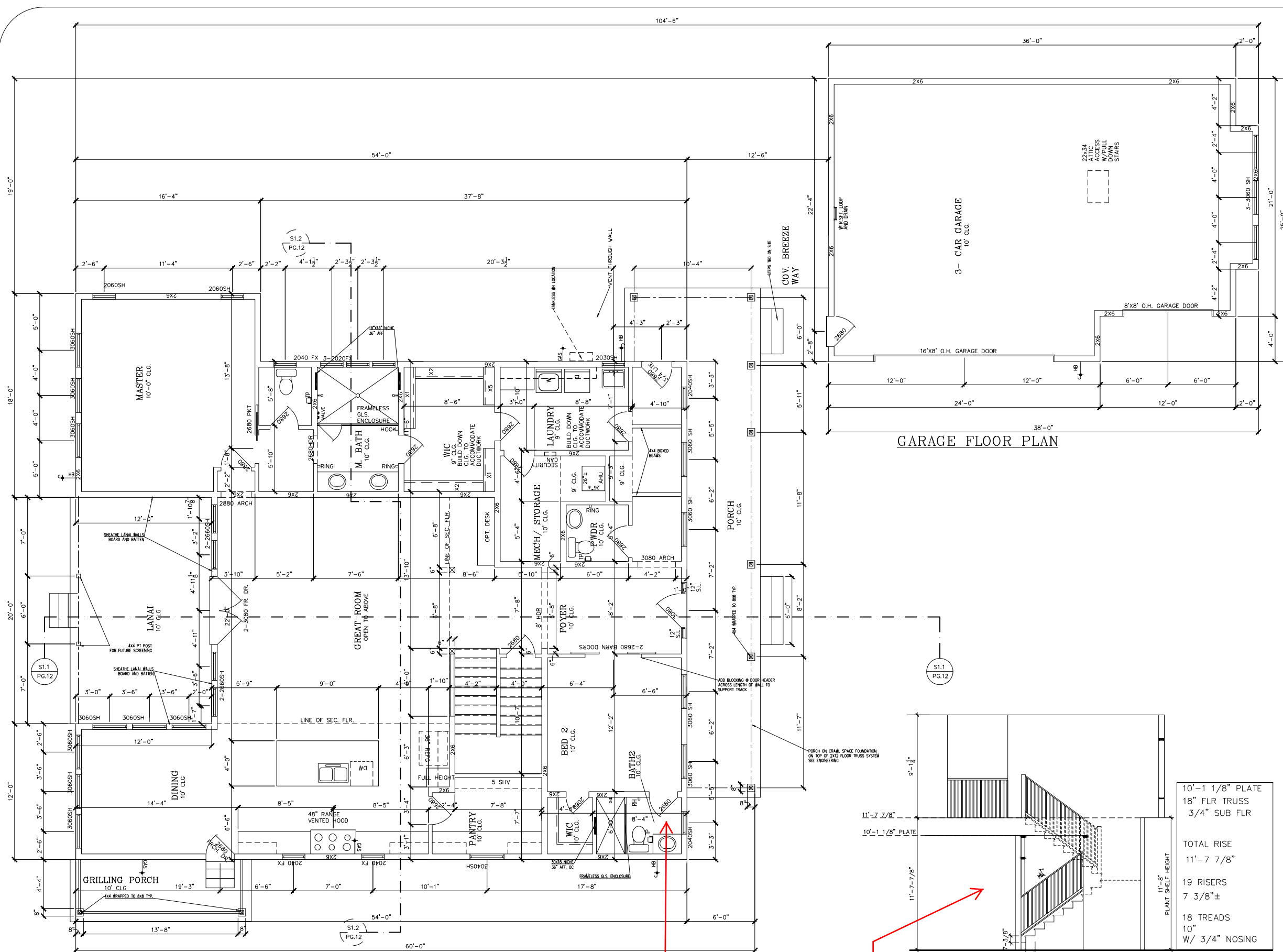
Project	Sheet
Date 05.12.16	3 of 15
Scale 1/4"=1'-0"	FOUNDATION

**FOUNDATION NOTES:**

VERIFY LOCATION OF ALL INTERIOR LOAD BEARING PARTITIONS W/ TRUSS ENGINEERING DRAWINGS & PROVIDE THICKENED SLAB AT ALL LOCATIONS PER STRUCTURAL ENGINEER'S DRAWINGS.

VERIFY LOCATION OF ALL PIPING AND CONDUITS REQUIRED BELOW SLAB. SEE FLOOR PLANS AND ALL PLUMBING FIXTURE LOCATIONS. VERIFY AND INSTALL ALL CONDUITS FOR DOWN-DRAFT, COOK TOPS, DRYERS, AIR HANDLING UNITS, ETC. AS REQUIRED. SEE ELECTRICAL PLAN FOR FLOOR MOUNTED RECEPTILES, TELEPHONE OR T.V JACKS OR ISLAND RECEPTILES.

PLANS CONFORM TO THE REQUIREMENTS OF 2014 FLORIDA BUILDING CODES



FIRST FLOOR PLAN

STAIR DETAIL

PLANS CONFORM TO THE REQUIREMENTS OF 2014 FLORIDA BUILDING CODES

change to 2880

closed stringer

General Notes

**FRAMING NOTES**

- 7/16" ZIP System
- Floor decking: 3/4" Level EdgeGold or 3/4" Advantech flooring
- Roofing sheathing: 5/8" CDX with radiant barrier (for metal roof)
- Porch ceiling sheathing: 7/16" OSB
- Install floor and roof trusses (provided by others)
- Roof dry-in by others
- Dropped ceilings are to be framed, not trussed
- No eave thickness are to be changed (e.g., 2x4 2x6) without builder approval
- Check trade information for rough openings for exterior doors, interior doors, pocket doors and windows
- Main door returns of 5 whenever possible to accommodate wide casing; review exceptions with builder prior to framing
- Garage rough openings to be coil size
- Garage post posts on interior only; no bucks on jamba
- Slipcover: closed stringer; wood knots and risers
- Install double 2x4 curb at all open railing locations
- Install 2x6 blocking around perimeter of work-in showers at floor
- Install 2x6 blocking behind pedestal sinks (install between 30" and 36" AFF)
- Install appropriate blocking/nails for drywall throughout, especially of tubs/showers

**TRUSS/METAL NOTES**

- Trusses: open web; 2x6 bottom chords on roof trusses
- Truss engineer to review HVAC duct placement with builder prior to final design
- Ensure no floor trusses in way of second floor plumbing
- Quick-Tie structural metal system

**HOUSEWRAP/WINDOW TAPE NOTES**

- Housewrap: 3/8" ZIP System sheathing
- ZIP System seam taping: tape all wall sheathing seams, corners, penetrations, etc., in accordance with manufacturer's instructions with 4" ZIP System Tape (tape provided by builder)
- Window tape: install 6" ZIP System tape at sides (butyrate all corners) (tape provided by builder)

**WINDOW NOTES**

- Windows: MI 3500 series vinyl single hung, low-E2, black

**HVAC NOTES**

- 15 SEER systems (trade to specify brand, sizing and equipment model numbers)
- Thermostat: Honeywell Lyric
- White adjustable grills
- Ductwork installation to meet Energy Star requirements
- Install condensate lines for all units as needed
- No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
- Provide roof boots as needed

**GAS (APRONS) NOTES**

- Note locations of gas drops: range, HWH, Grilling Porch
- Rinnai tankless HWH (trade to specify sizing and equipment model numbers)
- Provide and install buried 250g fuel tank and fill tank prior to end of construction
- No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.

**DETAIL NOTES**

- 1 x 12 boards (typical)
- Walls: 1/2" regular sheetrock; level 4 smooth finish
- Ceilings: 5/8" ceiling board; smooth finish (piggyback will be applied by painter)
- Exterior ceilings: by others
- Well areas: Duracork
- Master shower to ceiling, including any bench
- Secondary bolts to ceiling
- Fixed windows: do not drywall sills
- Cased windows: do not drywall sills, jamba or header
- Cased doorways: do not drywall jamba or header
- Take special care to not leave exposed fasteners in pocket door cavities

**INSULATION NOTES**

- Ceilings: R-38 blown fiberglass
- Walls: R-21 high density fiberglass batt
- Other areas: insulate per building code
- Building caulking and sealing to meet Energy Star requirements.

No.	DELETED WINDOWS	9,15,16
No.	Revision/Issue	Date

Firm Name and Address

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-ENGINEER:  
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 LOU@LP-A.COM  
 904-242-0908

Project Name and Address

**SIEBURG RESIDENCE**  
 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

Project	Sheet
Date 05.12.16	4 of 15
Scale 1/4"=1'-0"	FLOOR PLAN

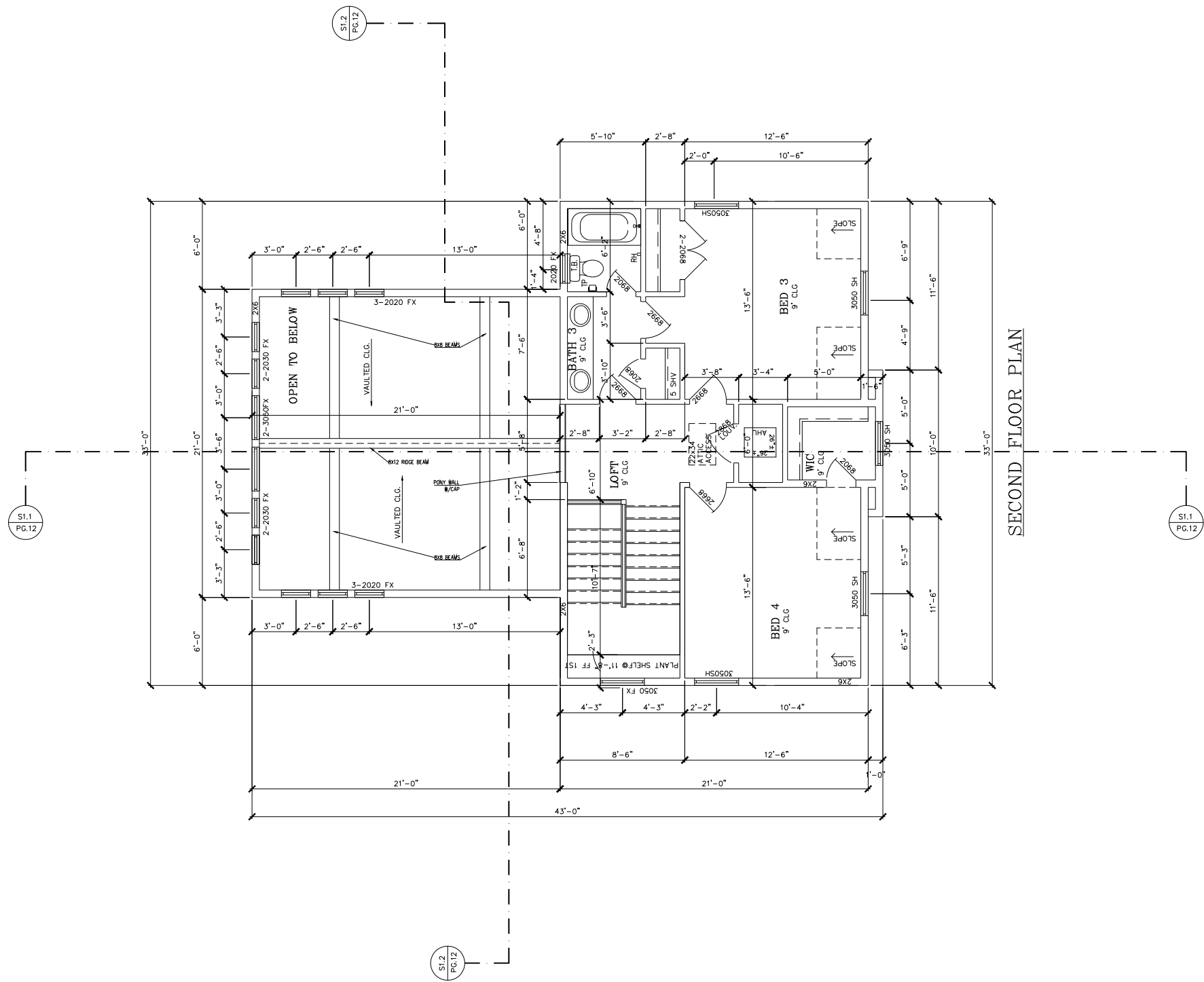
10'-1 1/8" PLATE  
 18" FLR TRUSS  
 3/4" SUB FLR

TOTAL RISE  
 11'-7 7/8"

19 RISERS  
 7 3/8"±

18 TREADS  
 10"  
 W/ 3/4" NOSING

11'-8" PLANT SHELVE HEIGHT



General Notes

FRAMING NOTES

- 1. Wall sheathing: 7/16" ZP System
- 2. Floor decking: 3/4" Level EdgeGold or 3/4" Advantech flooring
- 3. Roofing sheathing: 5/8" CDX with radiant barrier (for metal roof)
- 4. Porch ceiling sheathing: 7/16" OSB
- 5. Install floor and roof trusses (provided by others)
- 6. Roof dry-in by others
- 7. Dropped ceilings are to be framed, not trussed
- 8. No wall thickness are to be changed (e.g., 2x4 2x6) without builder approval
- 9. Check trade information for rough openings for exterior doors, interior doors, pocket doors and windows
- 10. Maintain door returns of 5" whenever possible to accommodate wide casing; review exceptions with builder prior to framing
- 11. Garage rough openings to be coil size
- 12. Garage pool joists on interior only; no bucks on jamba
- 13. Sill/case closed stringer; wood treads and risers
- 14. Install double 2x4 curb at all open railing locations
- 15. Install 2x6 blocking around perimeter of walk-in showers at floor
- 16. Install 2x6 blocking behind pedestal sinks (install between 30" and 36" AFF)
- 17. Install appropriate blocking/headers for drywall throughout, especially at tubs/showers

TRUSS/METAL NOTES

- 1. Trusses: open web; 2x6 bottom chords on roof trusses
- 2. Truss engineer to review HVAC duct placement with builder prior to finalizing design
- 3. Ensure no floor trusses in way of second floor plumbing
- 4. Quick-Tie structural metal system

HOUSEWRAP/WINDOW TAPE NOTES

- 1. Housewrap: n/s (ZIP System sheathing)
- 2. ZIP System seam taping: tape all wall sheathing seams, corners, penetrations, etc. in accordance with manufacturer's instructions with 4" ZIP System Tape (tape provided by builder)
- 3. Window tape: install 6" ZIP System Tape, all sides (butterfly silt corners) (tape provided by builder)

WINDOW NOTES

- 1. Windows: MI 3500 series vinyl single hung, low-E2, black

HVAC NOTES

- 1. 15 SEER systems (trade to specify brand, sizing and equipment model numbers)
- 2. Thermostat: Honeywell Lyric
- 3. White adjustable grills
- 4. Ductwork: installation to meet Energy Star requirements
- 5. Install condensate lines for all units as needed
- 6. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
- 7. Provide roof boots as needed

Gas (propane) NOTES

- 1. Note locations of gas drops: range, HWH, Gelling Furnace
- 2. Rinnai tankless HWH (trade to specify sizing and equipment model numbers)
- 3. Provide and install buried 250g fuel tank and fill tank prior to end of construction
- 4. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.

DRYWALL NOTES

- 1. 4 x 12 boards (typical)
- 2. Walls: 1/2" regular sheetrock; level 4 smooth finish
- 3. Ceilings: 5/8" ceiling board; smooth finish (high-bats will be applied by painter)
- 4. Exterior ceilings: by others
- 5. Wet areas: Durock
  - Master shower to ceiling, including any bench
  - Secondary baths to ceiling
- 6. Fixed windows: do not drywall sills
- 7. Casework: do not drywall sills, jamba or header
- 8. Casework: do not drywall jamba or header
- 9. Take special care to not leave exposed fasteners in pocket door cavities

INSULATION NOTES

- 1. Ceiling: R-38 blown fiberglass
- 2. Walls: R-21 high density fiberglass batt
- 3. Other areas: insulate per building code
- 4. Building caulking and sealing to meet Energy Star requirements

No.	DELETED WINDOWS	9,15,16
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No.	Revision/Issue	Date
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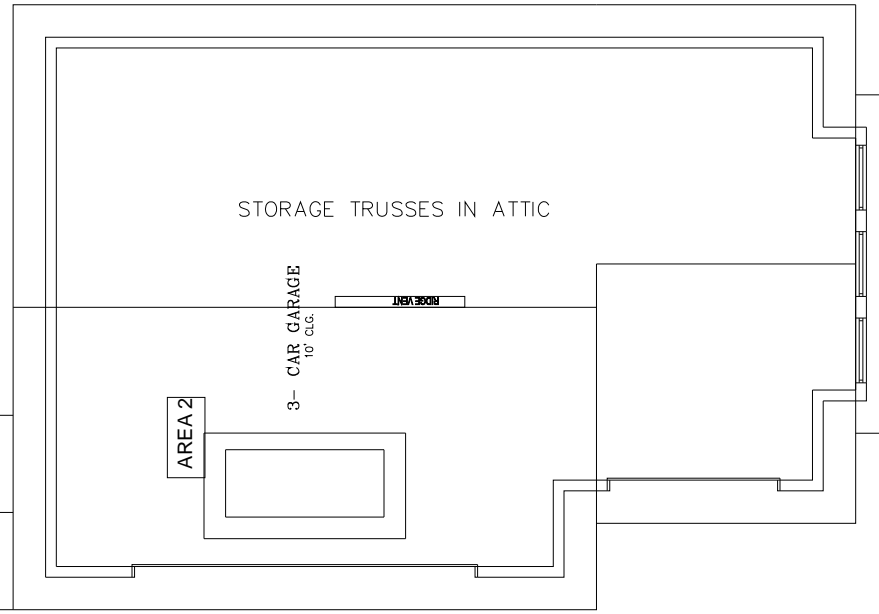
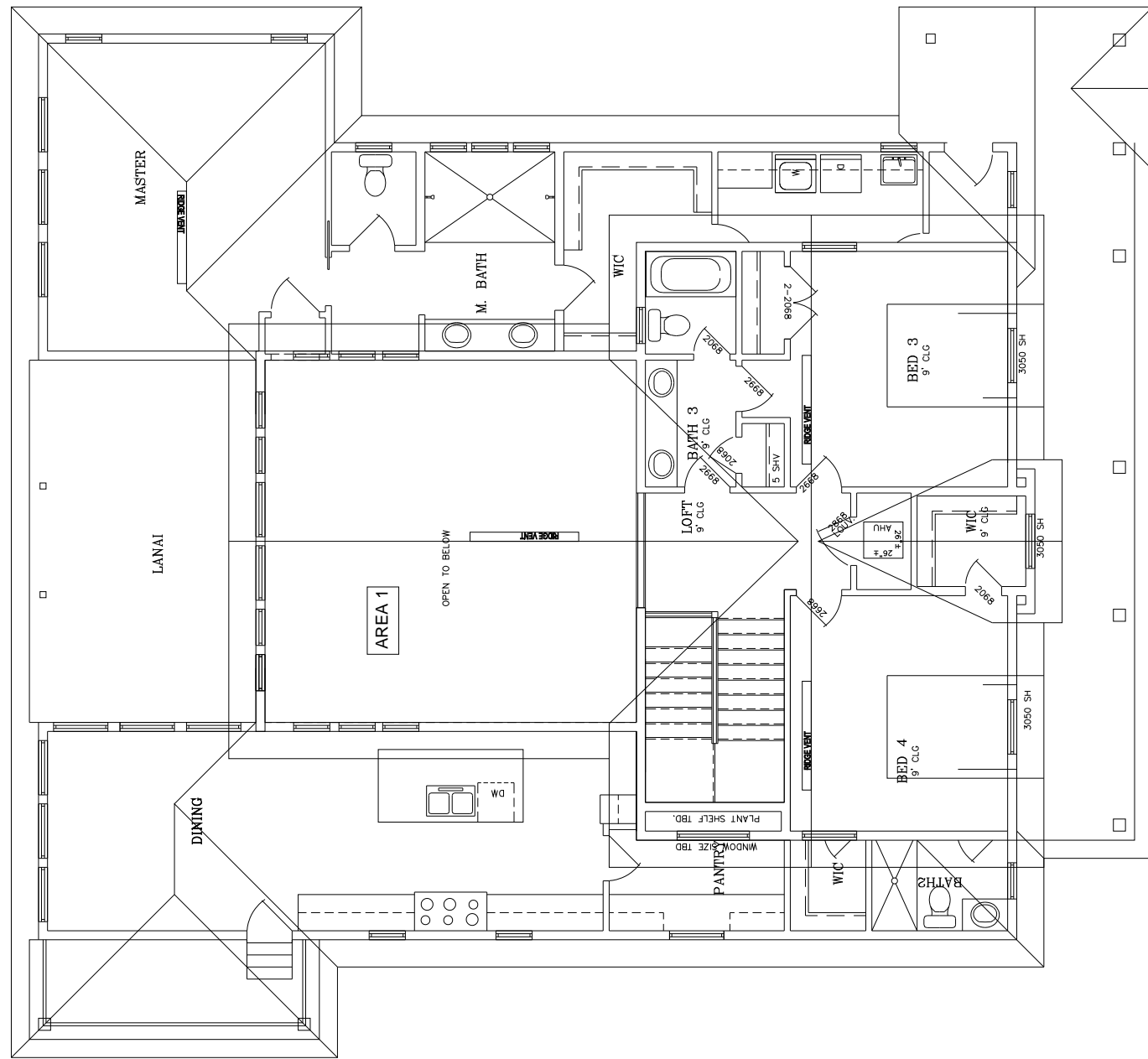
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 COLEE COVE LOT 6

Project	Sheet
Date	05.12.16
Scale	1/4"=1'-0"
5 of 15	
FLOOR PLAN	



### ROOF VENT CALCULATION

**FORMULA:**  
 1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING  
 $*144 \text{ SQ IN} = 1 \text{ SQ FT}$   
 $\text{BLDG CEILING (SQ FT)} \times 144 = \text{BLDG (SQ IN)}$   
 $\text{BLDG (SQ IN)} / 300 = \text{SQ IN OF VENT REQUIRED}$   
 $\text{SQ IN OF VENT REQUIRED} / 2 = 50\% \text{ AT HIGH AND } 50\% \text{ AT LOW}$

PER FBC SECTION 906.2: 40% MIN, BUT NOT MORE THAN 50% OF VENTILATION MUST BE PROVIDED BY VENTILATORS LOCATED A MIN 3'-0" ABOVE EAVE

**BASIS OF CALCULATION:**  
 (a) OFF RIDGE VENTS - STAMPCO W/ 38 SQ IN (NFVA) PER LINEAL FT  
 (b) SOFFIT VENTS - GP TS-12" FULL VENT PERFORMED W/ 9.19 SQ IN (NFVA) PER LINEAL FT

CALCULATED LINEAL FOOT OF SOFFIT VENT SHALL NOT INCLUDE NON-VENTED FIRE RATED SOFFIT LOCATED LESS THAN 6' FROM PROPERTY LINE

AREA (SQ FT)	REQUIRED		VENTS	PROVIDED		
	HIGH (SQ IN)	LOW (SQ IN)		HIGH (SQ IN)	LINEAL FT	LOW (SQ IN)
1	3351	804.24	3	648.00	214	1366.656
2	852	204.48	1	216.00	94	563.886

HIGH: (1) 6" VENT = 216 SQ IN  
 FT = 9.19 SQ IN

- General Notes**
- ROOFING NOTES**
1. Dry-in: peel & stick (Polystick TU Plus or equivalent)
  2. Metal roof: Millennium Metals 16" M Seam/Standing Seam 26 gal with ridge vent, galvalume or equivalent
  3. Eave drip: 6"x10": match to roof
  4. Flashing: 5"x5" 26 GA
  5. Valley: 18" x50" roll 26 GA
  6. Installer to provide own fasteners
  7. Provide and install lead plumbing boots

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

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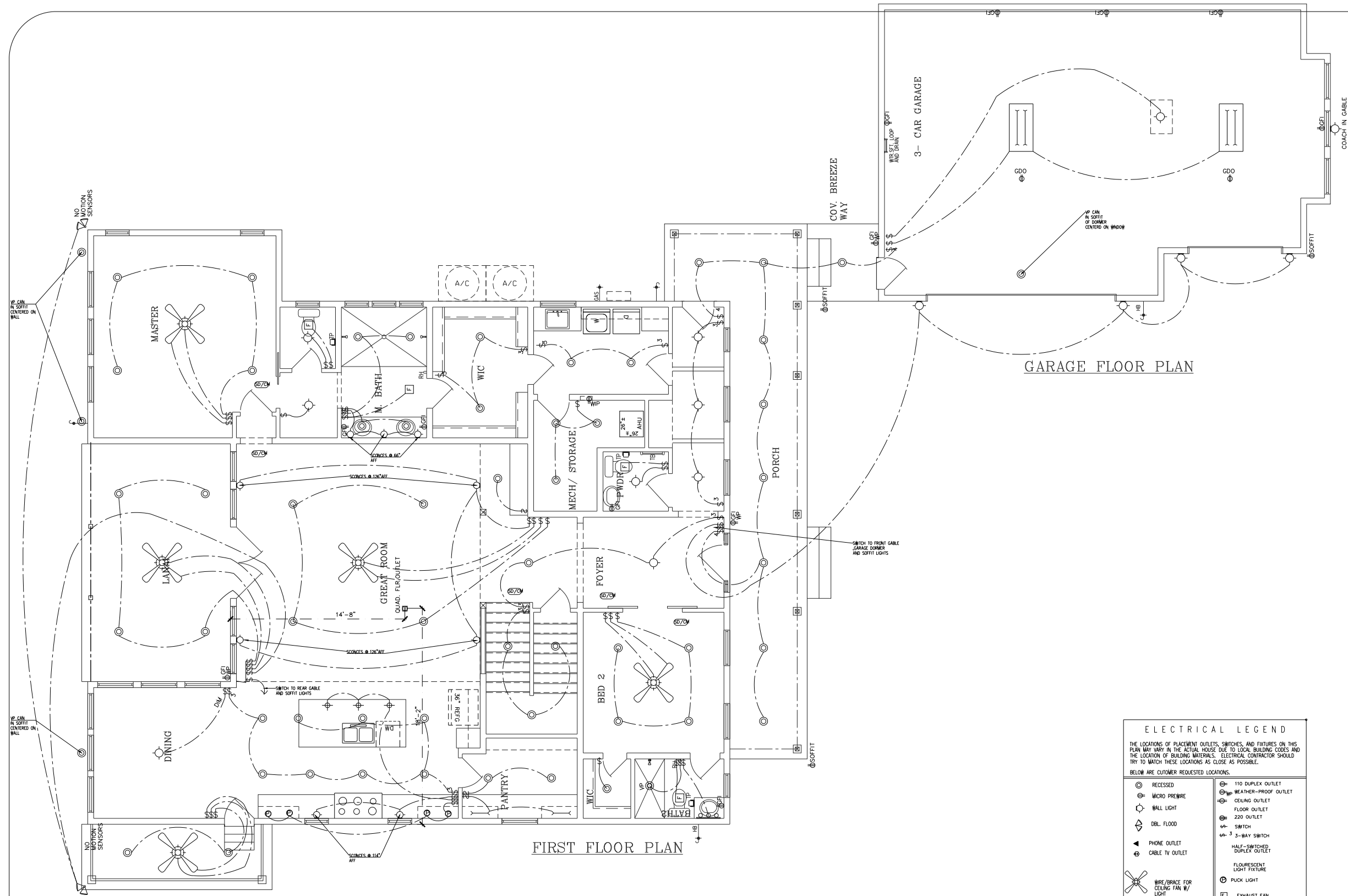
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 8521 BEVERLY LANE  
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 COLEE COVE LOT 6

Project	Sheet
Date	6 of 15
Scale	ROOF PLAN
	1/4"=1'-0"



- General Notes**
1. THE ELECTRICAL PLAN ILLUSTRATES DESIGN INTENT ONLY. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
  2. ELECTRIC AND GAS METERS SHALL BE IN NON-OFFENSIVE LOCATIONS WHEN VIEWED FROM FRONT OR REAR OF THE BUILDINGS.
  3. PANEL BOX SHALL BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND SHALL PROVIDE FOR A MINIMUM OF EIGHT SPACES.
  4. PROVIDE SERVICE AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT (I.E. REFRIGERATOR, FREEZER, DISH WASHER, DISPOSAL, COOK TOP, VENT HOOD, OVEN, WASHER, DRYER, HVAC EQUIPMENT, ALARM PANEL, WATER HEATER, ETC).
  5. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL "WALK THROUGH" PRIOR TO INSTALLATION AND VERIFY THAT DESIGN INTENT IS MAINTAINED. NOTIFY CONTRACTOR SHOULD ANY CONFLICT ARISE.
  6. SWITCHES SHALL BE LOCATED CLOSE TO, BUT NOT INTERSECTING ANY DOOR/WINDOW TRIM. VERIFY TRIM SIZE AND SELECTION IN ALL CASES. GROUPED SWITCHES SHALL ALIGN AND BE MOUNTED AS CLOSE AS POSSIBLE. SEE DIAGRAMS, THIS SHEET.
  7. ALL OUTLETS IN GARAGE, OUTSIDE, AND NEAR WATER CONDITIONS (I.E. VANITIES, SINKS, TUB, SHOWER, ETC.) SHALL BE GFI TYPE AS REQUIRED BY CODE.
  8. LIGHT FIXTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THAT SHOWN ON THIS PLAN. FIXTURES SHALL ALIGN OR CENTRE ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENT. CO-ORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLES, SO THAT THEY ALIGN OR AT LEAST ARE SYMMETRICAL WITH EACH OTHER. WHERE THERE MAY BE CONFLICTS, LIGHT FIXTURE LOCATION SHALL VERIFY AND APPROVED BY CONTRACTOR OR ARCHITECT PRIOR TO INSTALLING FINISH WALL MATERIALS.
  9. VERIFY WITH CONTRACTOR SHOULD EXTERIOR SECURITY LIGHTS BE DESIRED. IF DESIRED, VERIFY TYPE OF FIXTURE, LOCATION AND REQUIRED SWITCHING.
  10. VERIFY WITH CONTRACTOR FOR LANDSCAPE AND ALL EXTERIOR LIGHTING CIRCUITS AND SWITCHES.
  11. FIELD VERIFY LOCATION OF ALARM SYSTEM WITH CONTRACTOR.
  12. PHONE SYSTEM: SEE OUTLET LOCATIONS AND VERIFY WITH CONTRACTOR. PROVIDE OUTLET AT ALARM PANEL LOCATION.
  13. CABLE TV: SEE OUTLET LOCATIONS AND FIELD VERIFY WITH CONTRACTOR.
  14. SMOKE DETECTORS: ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS. (I.E. HARDWARE WITH BATTERY BACKUP) ALL DETECTORS SHALL BE LOCATED AND INSTALLED PER APPLICABLE CODE AND PER MANUFACTURER'S INSTRUCTIONS. LOCATIONS SHALL INCLUDE, BUT NOT LIMITED TO ALL SLEEPING AREAS, IMMEDIATE VICINITY OF BEDROOMS, EACH LEVEL INCLUDING BASEMENTS AND ATTICS.

- LOW VOLTAGE NOTES**
1. Standard package:
    - Structured wiring with 10 drops
    - Full security system with all openings contacted and two keypads
    - Surround sound pre-wire in great room with receiver locations copper
  2. Additional items per homeowner selection at showroom visit. Provide updated quote and mark-up to builder after showroom visit and include additional corresponding electrical needs.
- ELECTRICAL NOTES**
1. All electrical wiring to be in accordance with '11 NEC. Provide on-off-tout interrupters in all bedrooms per article 210-12.
  2. Install temp pacer, underground by others.
  3. Not necessary to code, plus additional per plans.
  4. Decora switches.
  5. Subcontractor to provide and install all fixtures for attic lighting, recessed lighting, undercabinet lighting, fluorescent lighting, bath fans, doorbell and double doorbells; install only all decorative surface mount fixtures and ceiling fans provided.
  6. If any Bond gas line, if present.
  7. The general receptacle outlets to be located in compliance with NEC 210.52(A) and NEC R-ESB02.

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

Firm Name and Address

**STARR CUSTOM HOMES**  
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-DRAWN BY: PATRICK MANGUS  
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 904-806-2478

-ENGINEER:  
 LOU PONTIGO &  
 ASSOCIATES  
 LOU PONTIGO  
 LOU@LP-A.COM  
 904-242-0908

Project Name and Address

**SIEBURG RESIDENCE**  
 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

Project \_\_\_\_\_ Sheet **7 of 15**

Date **05.12.16**

Scale **1/4"=1'-0"**

**ELECTRICAL LAYOUT**

**ELECTRICAL LEGEND**

THE LOCATIONS OF PLACEMENT OUTLETS, SWITCHES, AND FIXTURES ON THIS PLAN MAY VARY IN THE ACTUAL HOUSE DUE TO LOCAL BUILDING CODES AND THE LOCATION OF BUILDING MATERIALS. ELECTRICAL CONTRACTOR SHOULD TRY TO MATCH THESE LOCATIONS AS CLOSE AS POSSIBLE.

BELOW ARE CUSTOMER REQUESTED LOCATIONS.

<ul style="list-style-type: none"> <li>RECESSED</li> <li>MICRO PREWIRE</li> <li>HALL LIGHT</li> <li>DBL. FLOOR</li> <li>PHONE OUTLET</li> <li>CABLE TV OUTLET</li> <li>WIRE/BRACE FOR CEILING FAN W/ LIGHT</li> <li>WIRE/BRACE FOR CEILING FAN W/NO LIGHT</li> <li>STANDARD FIXTURES</li> <li>UNDER CABINET LIGHTING</li> <li>ELECTRICAL SERVICE PANEL</li> </ul>	<ul style="list-style-type: none"> <li>110 DUPLEX OUTLET</li> <li>WEATHER-PROOF OUTLET</li> <li>CEILING OUTLET</li> <li>FLOOR OUTLET</li> <li>220 OUTLET</li> <li>SWITCH</li> <li>3-WAY SWITCH</li> <li>HALF-SWITCHED DUPLEX OUTLET</li> <li>FLOURESCENT LIGHT FIXTURE</li> <li>PUCK LIGHT</li> <li>EXHAUST FAN</li> <li>SMOKE DETECTOR CARBON MONOXIDE</li> <li>VANITY FIXTURES</li> <li>FOCAL FIXTURES</li> <li>HALL FIXTURES</li> <li>EXHAUST FAN W/ LIGHT</li> </ul>
---	--

\* INSTALL SMOKE/CARBON MONOXIDE DETECTORS PER CODE.  
 \* INSTALL GFI'S PER CODE.      \* INSTALL AFI'S PER CODE.

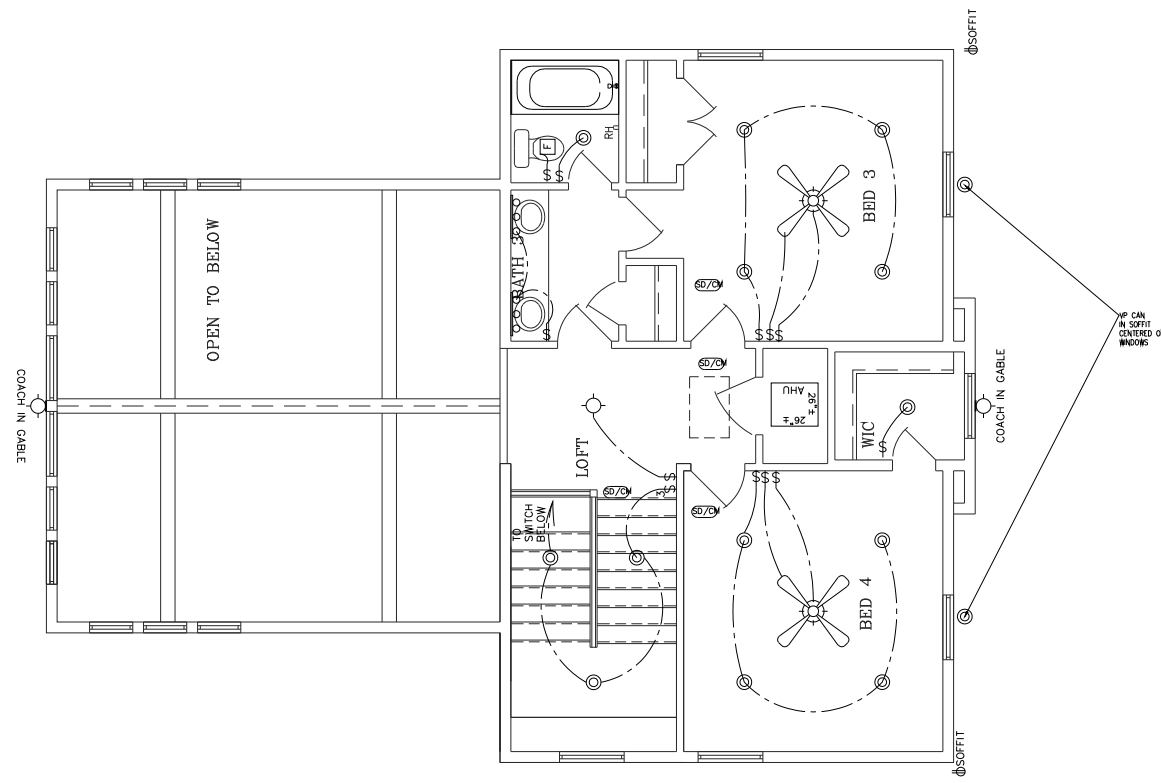
GENERAL NOTE  
 CABLE LIGHTS, AND SOFFIT CANS  
 ARE TO BE ON TWO SWITCHES  
 LOCATED AT :  
 1. FOYER AT ENTRY DOOR  
 2. REAR OF HOUSE ON GREAT  
 ROOM WALL.

**add 110v ext outlet  
 to sewer grinder  
 box and electrical  
 to well**

PLANS CONFORM TO THE REQUIREMENTS OF 2014 FLORIDA BUILDING CODES

ELECTRICAL LEGEND	
THE LOCATIONS OF PLACEMENT OUTLETS, SWITCHES, AND FIXTURES ON THIS PLAN MAY VARY IN THE ACTUAL HOUSE DUE TO LOCAL BUILDING CODES AND THE LOCATION OF BUILDING MATERIALS. ELECTRICAL CONTRACTOR SHOULD TRY TO MATCH THESE LOCATIONS AS CLOSE AS POSSIBLE.	
BELOW ARE CUSTOMER REQUESTED LOCATIONS.	
⊙ RECESSED	⊙ 110 DUPLEX OUTLET
⊙ MICRO PREWIRE	⊙ WEATHER-PROOF OUTLET
⊙ WALL LIGHT	⊙ CEILING OUTLET
⊙ DBL. FLOOD	⊙ FLOOR OUTLET
⊙ PHONE OUTLET	⊙ 220 OUTLET
⊙ CABLE TV OUTLET	⊙ SWITCH
⊙ WIRE/BRACE FOR CEILING FAN W/ LIGHT	⊙ 3-WAY SWITCH
⊙ WIRE/BRACE FOR CEILING FAN W/O LIGHT	⊙ HALF-SWITCHED DUPLEX OUTLET
⊙ STANDARD FIXTURES	⊙ FLOURESCENT LIGHT FIXTURE
⊙ UNDER CABINET LIGHTING	⊙ EXHAUST FAN
⊙ ELECTRICAL SERVICE PANEL	⊙ SMOKE DETECTOR CARBON MONOXIDE
	⊙ WAINY FIXTURES
	⊙ FOCAL FIXTURES
	⊙ HALL FIXTURES
	⊙ EXHAUST FAN W/ LIGHT
* INSTALL SMOKE/CARBON MONOXIDE DETECTORS PER CODE.	
* INSTALL GP'S PER CODE. * INSTALL AP'S PER CODE.	

GENERAL NOTE  
 GABLE LIGHTS, AND SOFFIT CANS  
 ARE TO BE ON TWO SWITCHES  
 LOCATED AT :  
 1. FOYER AT ENTRY DOOR  
 2. REAR OF HOUSE ON GREAT  
 ROOM WALL.



SECOND FLOOR PLAN

- GENERAL ELECTRICAL General Notes**
1. THE ELECTRICAL PLAN ILLUSTRATES DESIGN INTENT ONLY. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
  2. ELECTRIC AND GAS METERS SHALL BE IN NON-OFFENSIVE LOCATIONS WHEN VIEWED FROM FRONT OR REAR OF THE BUILDINGS.
  3. PANEL BOX SHALL BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND SHALL PROVIDE FOR A MINIMUM OF EIGHT SPACES.
  4. PROVIDE SERVICE AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT (I.E. REFRIGERATOR, FREEZER, DISH WASHER, DISPOSAL, COOK TOP, WENT HOOD, OVEN, WASHER, DRYER, HVAC EQUIPMENT, ALARM PANEL, WATER HEATER, ETC.)
  5. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL "WALK THROUGH" PRIOR TO INSTALLATION AND VERIFY THAT DESIGN INTENT IS MAINTAINED. NOTIFY CONTRACTOR SHOULD ANY CONFLICT ARISE.
  6. SWITCHES SHALL BE LOCATED CLOSE TO, BUT NOT INTERSECTING ANY DOOR/WINDOW TRIM. VERIFY TRIM SIZE AND SELECTION IN ALL CASES. GROUPED SWITCHES SHALL ALIGN AND BE MOUNTED AS CLOSE AS POSSIBLE. SEE DIAGRAMS, THIS SHEET.
  7. ALL OUTLETS IN GARAGE, OUTSIDE, AND NEAR WATER CONDITIONS (I.E. SINKS, SHOWERS, ETC.) SHALL BE G.F.I. TYPE AS REQUIRED BY CODE.
  8. LIGHT FIXTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THAT SHOWN ON THIS PLAN. FIXTURES SHALL ALIGN OR CENTRE ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENT. CO-ORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLES SO THAT THEY ALIGN OR AT LEAST ARE SYMMETRICAL WITH EACH OTHER. WHERE THERE MAY BE CONFLICTS, LIGHT FIXTURE LOCATION SHALL BE VERIFIED AND APPROVED BY CONTRACTOR OR ARCHITECT PRIOR TO INSTALLING FINISH WALL MATERIALS.
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- LOW VOLTAGE NOTES**
1. Standard package:
    - Structured wiring with 10 drops
    - Full security system with all openings contacted and two keypads
    - Surround sound pre-wire in great room with speaker locations capped
  2. Additional items per homeowner selection at showroom visit. Provide updated quote and mark-up to builder after showroom visit and include additional corresponding electrical needs.
- ELECTRICAL NOTES**
1. All electrical wiring to be in accordance with '11 NEC. Provide arc-fault interrupters in all bedrooms per article 210-12.
  2. Install temp. pot; underground by others
  3. Wall receptacles to code, plus additional per plans
  4. Decorative switches
  5. Subcontractor to provide and install all fixtures for attic lighting, recessed lighting, undercabinet lighting, fluorescent lighting, bath fans, soffit and double floodlights; install only all decorative surface mount fixtures and ceiling fans provided
  6. If any bond gas line, if present
  7. The general receptacle outlets to be located in compliance with NEC 210.52(A) and FBC R 13301.2.

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

Firm Name and Address

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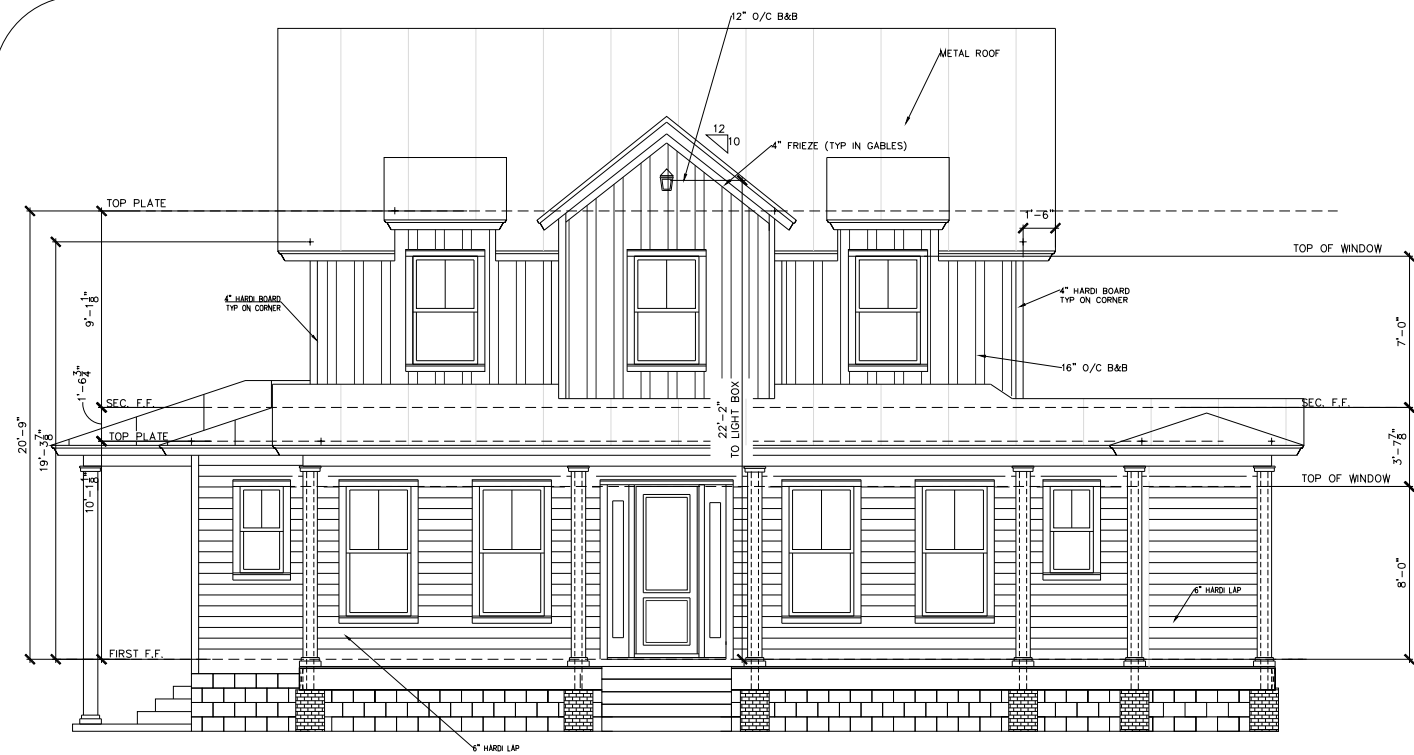
-ENGINEER:  
 LOU PONTIGO &  
 ASSOCIATES  
 LOU PONTIGO  
 LOU@LP-A.COM  
 904-242-0908

Project Name and Address

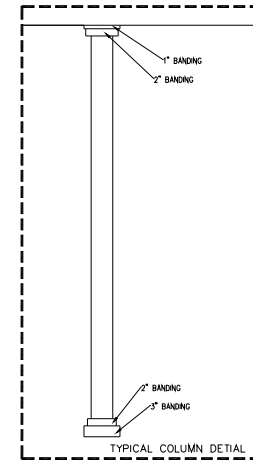
**SIEBURG RESIDENCE**  
 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

Project	Sheet	8 of 15
Date	05.12.16	ELECTRICAL LAYOUT
Scale	1/4"=1'-0"	

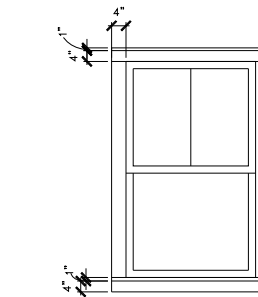




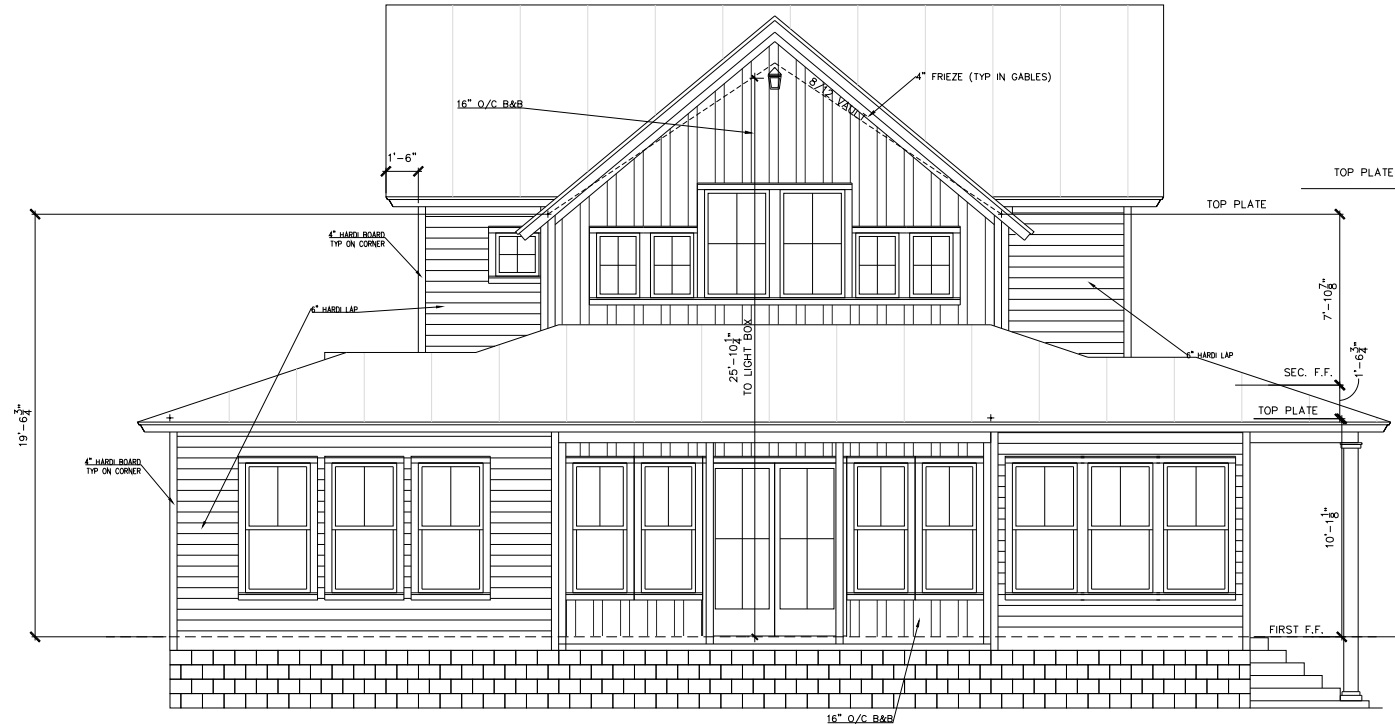
FRONT ELEVATION



STANDARD COLUMN DETAIL



STANDARD BANDING DETAIL



REAR ELEVATION

General Notes

SIDING NOTES

1. All materials primed
2. HardiePlank Lap Siding Smooth 7 1/4" (6" reveal) lap siding
3. 5/4 HardieTrim boards, smooth
4. 4" width Hardie panel, smooth
5. 3/4 x 2 1/4 Hardie batten strips, OC per plan, smooth
6. Porch ceiling finish: 1x6 T&G pine
7. Hardie-wrapped columns are to be sandwiched with sanded seams
8. Gable vents: paintable vinyl size on plans
- ~~9. Brackets on front porch post~~
10. Installation according to manufacturer's instructions
11. All trim and seams to be straight, plumb and tight

SOFFIT/FASCIA/PORCH CEILING/GUTTERS NOTES

- If vinyl:
1. Kaycan, full O vent, linen
  2. Porch ceilings by others
  3. If needed: Gutters: 6" seamless; see gutter plan detail for locations

STUCCO NOTES

1. Skip trowel stem wall only

STONE NOTES (on porch piers)

1. Eldorado Stone Tundra Brick, Hartford, gray mortar

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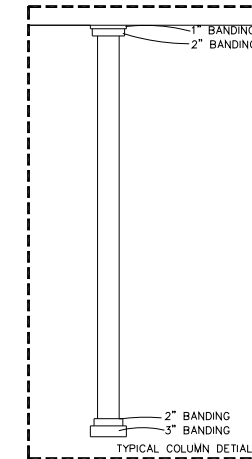
Project Name and Address

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 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

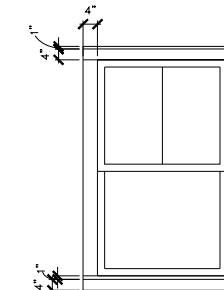
Project	Sheet
Date 05.12.16	9 of 15
Scale 1/4"=1'-0"	FRONT / REAR ELEVATIONS



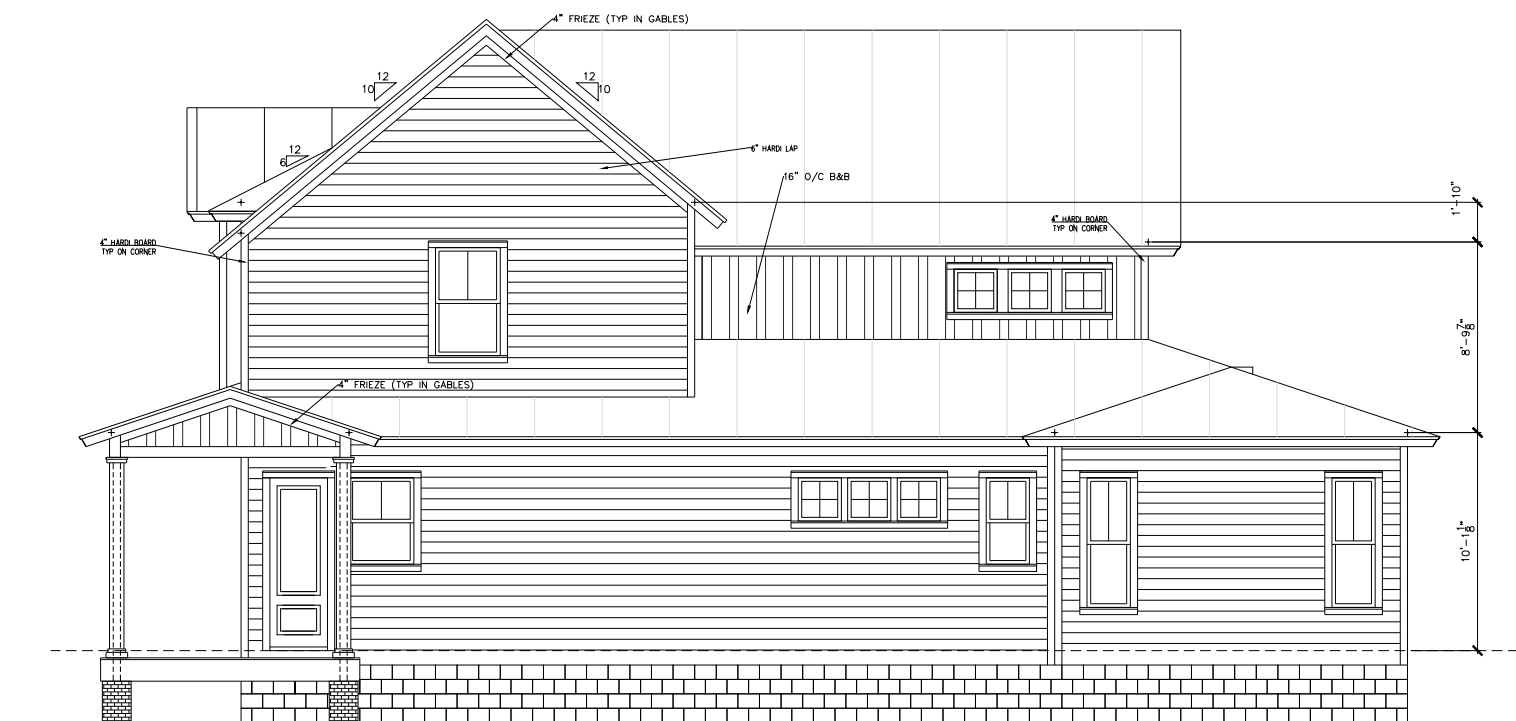
LEFT ELEVATION



STANDARD COLUMN DETAIL



STANDARD BANDING DETAIL



RIGHT ELEVATION

No.	DELETED WINDOWS	9.15.16
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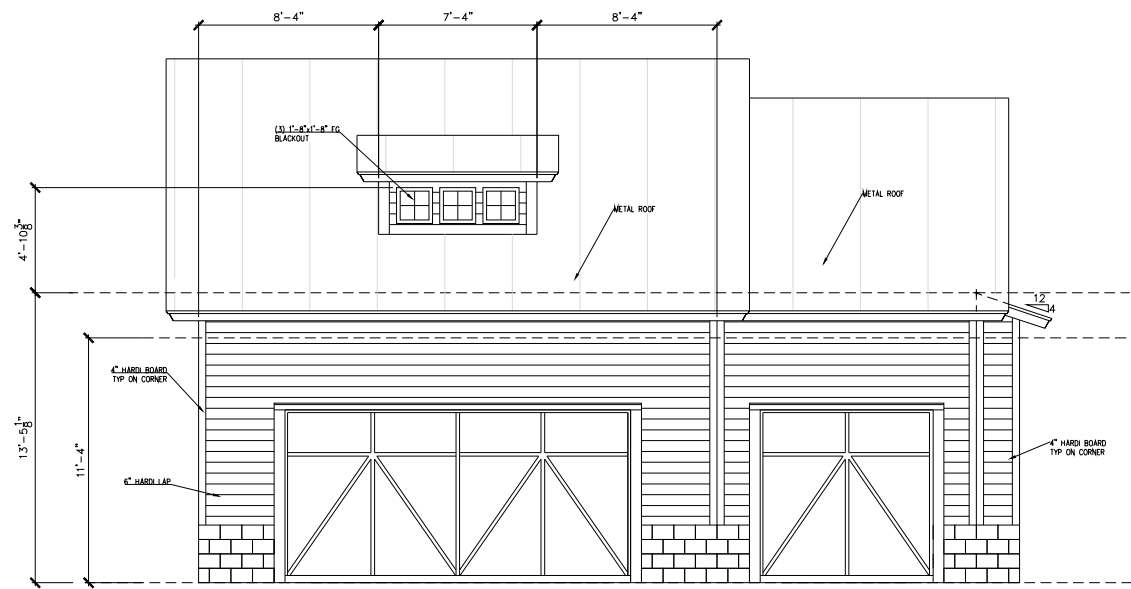
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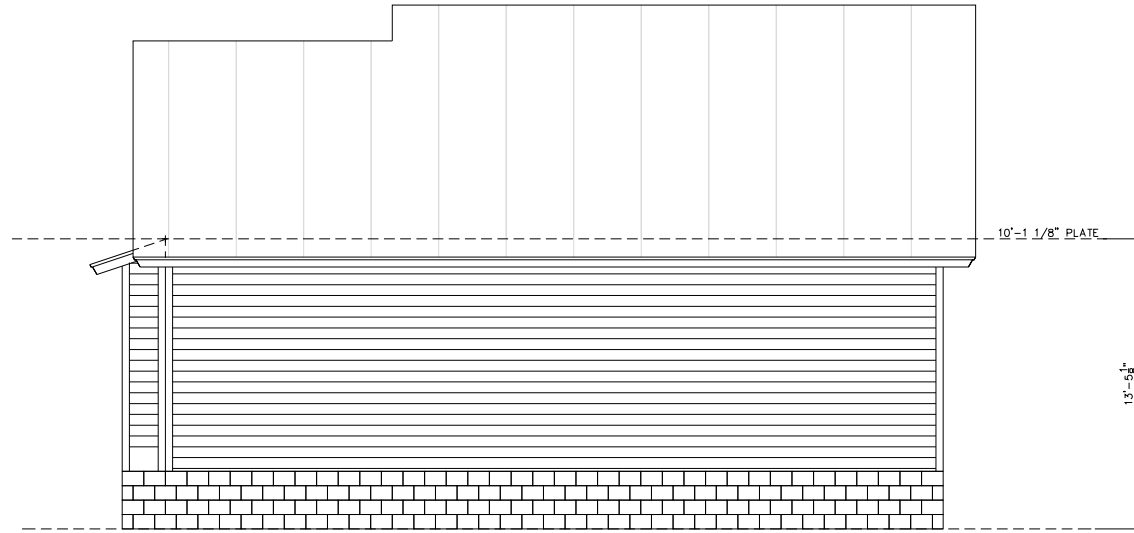
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 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

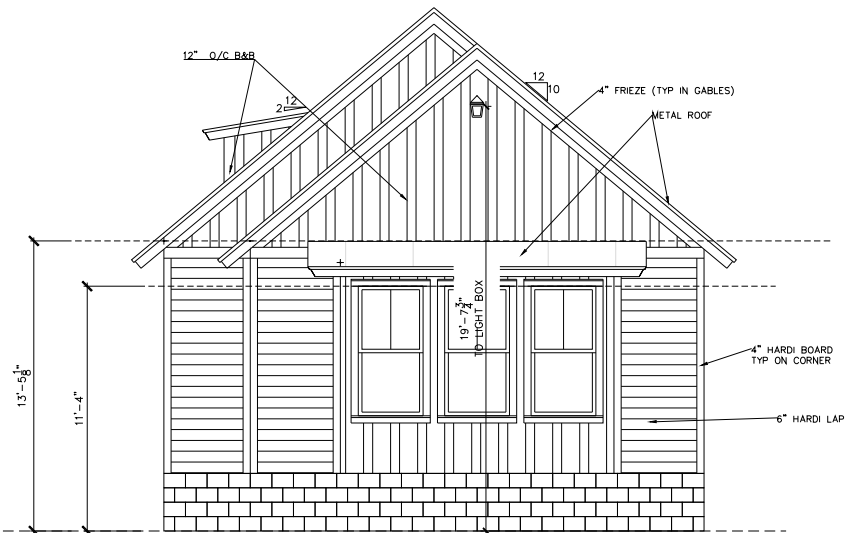
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Date 05.12.16	10of15
Scale 1/4"=1'-0"	ELEVATIONS



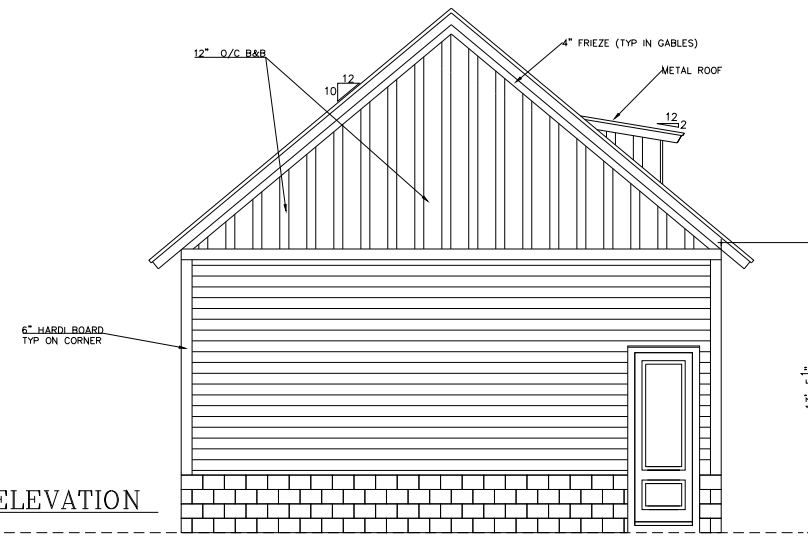
GARAGE LEFT ELEVATION



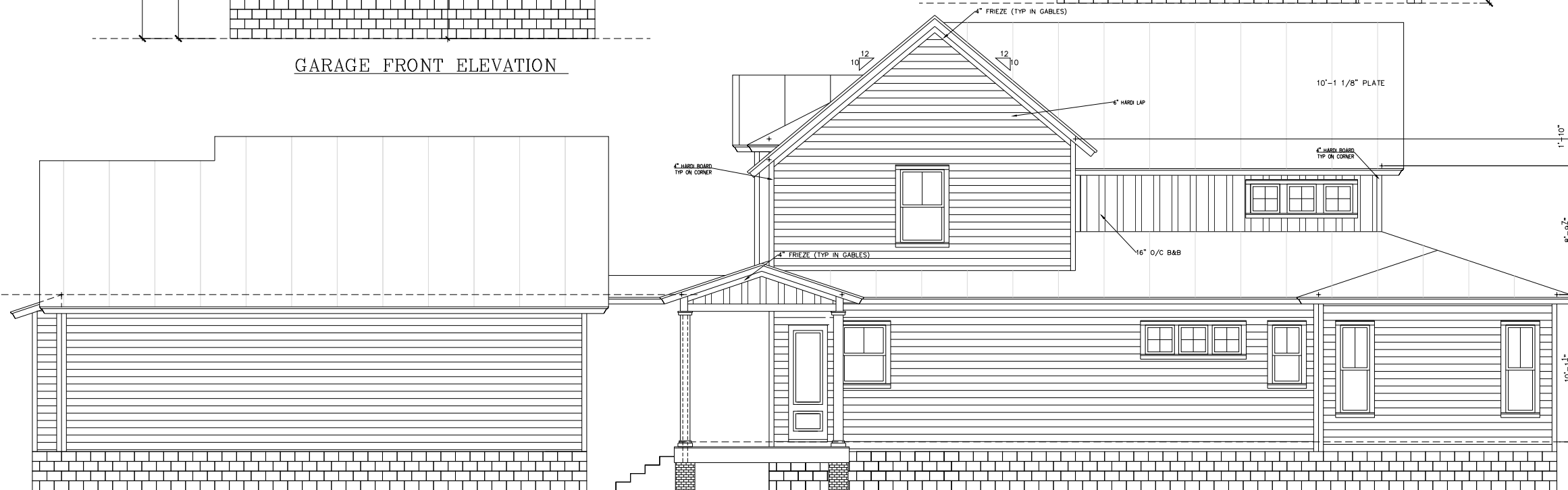
GARAGE RIGHT ELEVATION



GARAGE FRONT ELEVATION



GARAGE REAR ELEVATION

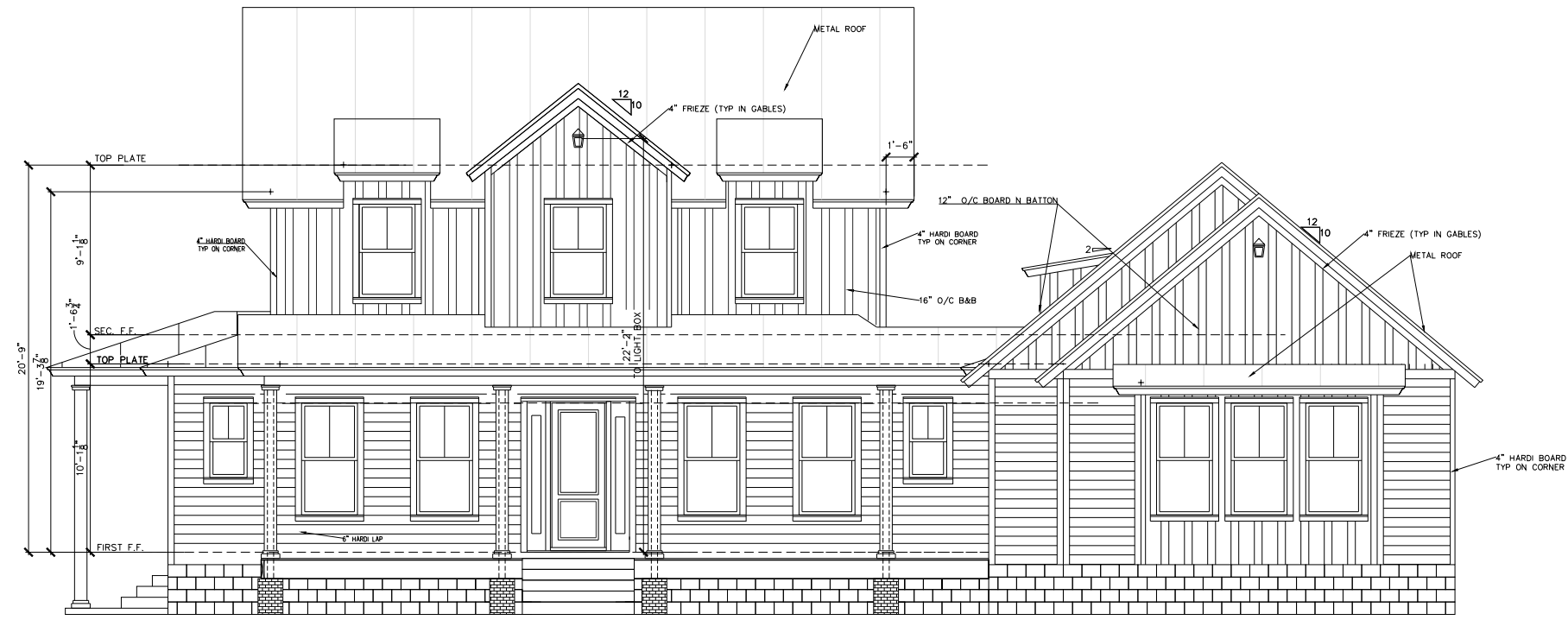


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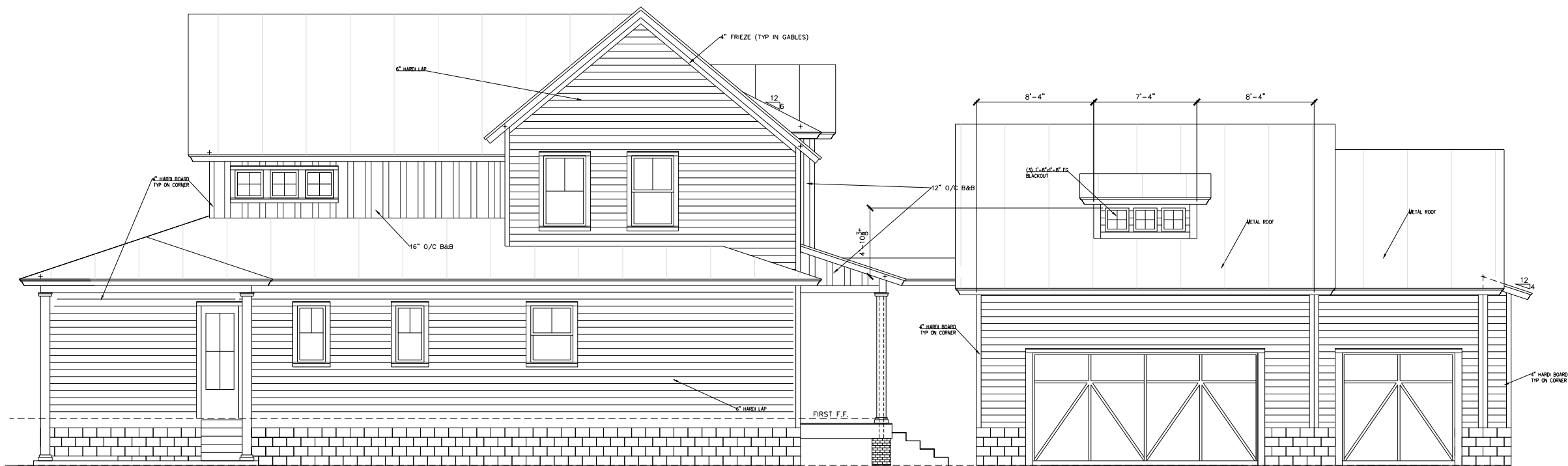
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 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

Project	Sheet
Date 05.12.16	11of15
Scale 1/4"=1'-0"	SIDE ELEVATIONS



FRONT ELEVATION

GARAGE FRONT ELEVATION



LEFT ELEVATION

GARAGE LEFT ELEVATION

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

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 8521 BEVERLY LANE  
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 COLEE COVE LOT 6

Project	Sheet
Date 05.12.16	12 of 15
Scale 1/4"=1'-0"	ELEVATIONS



SECTION 1.1



SECTION 1.2

General Notes

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

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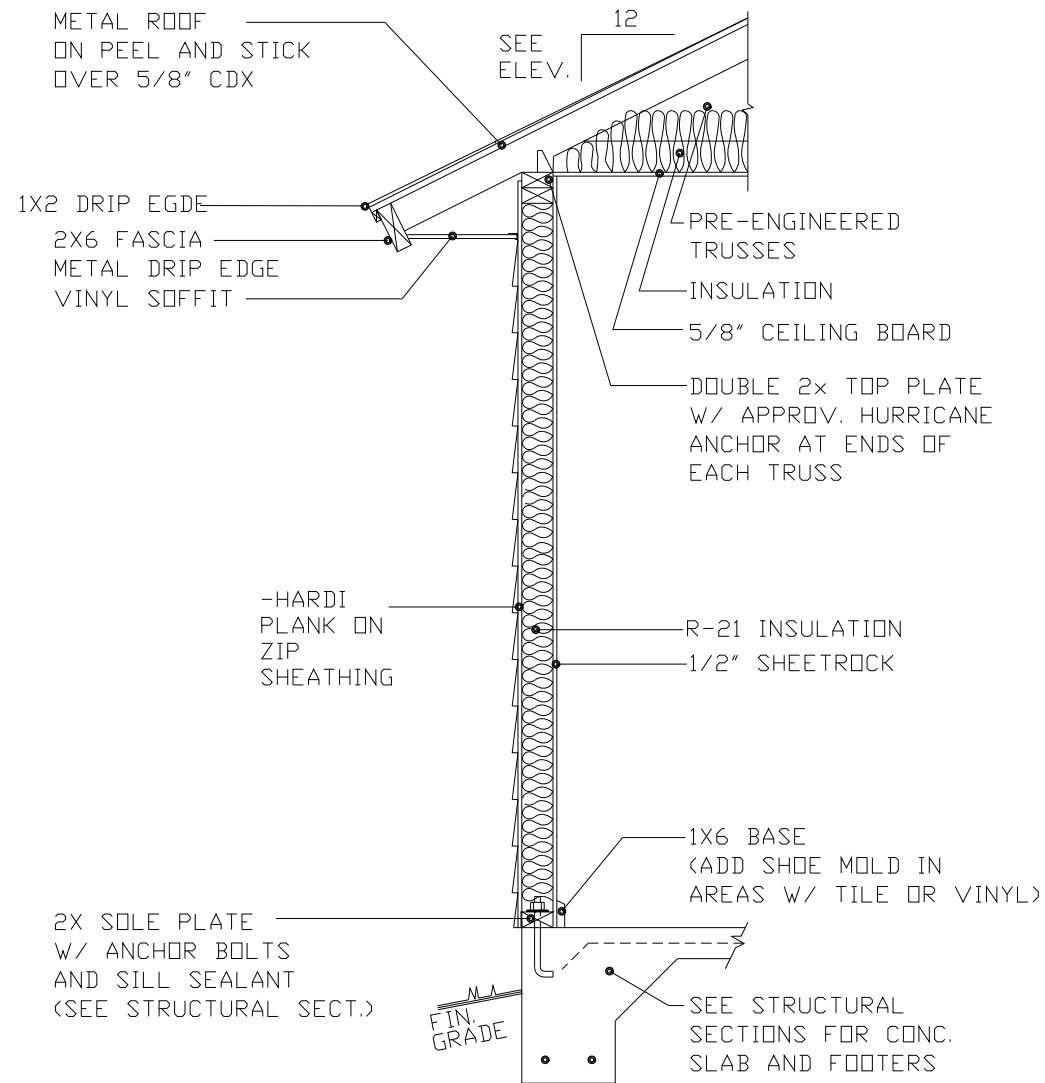
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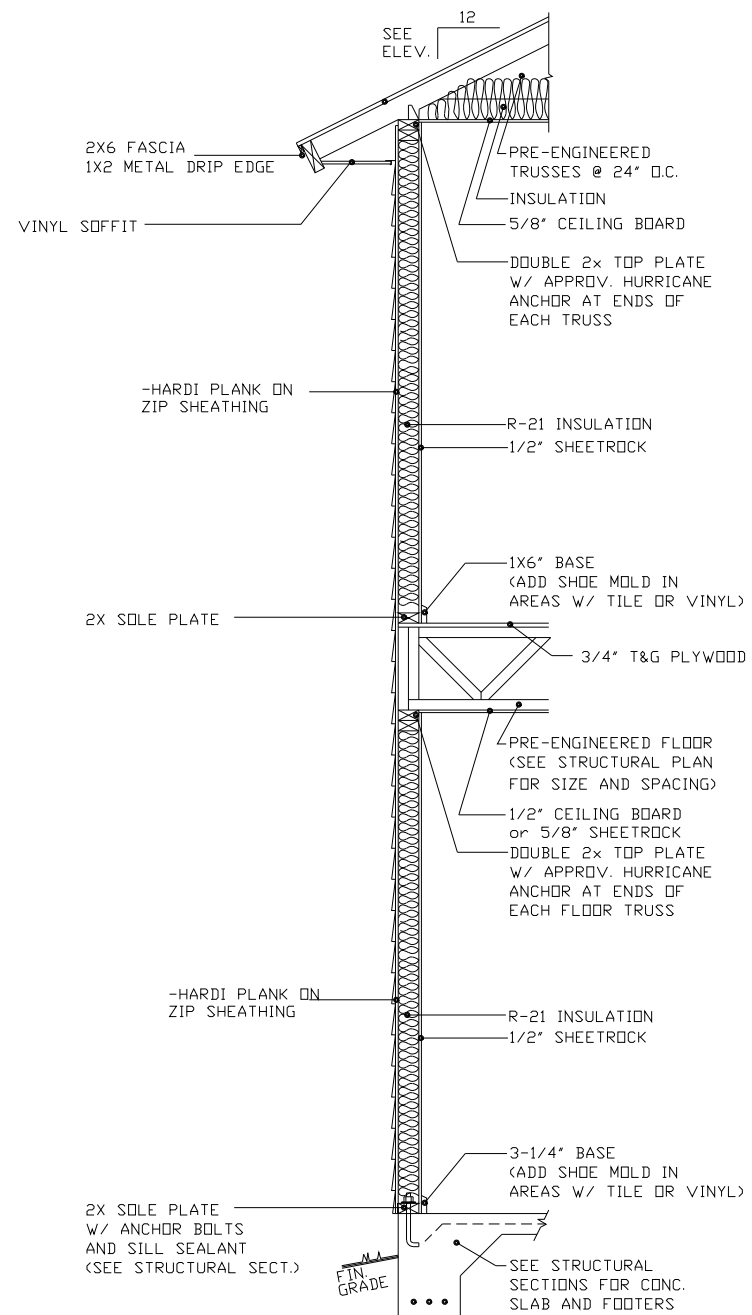
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 8521 BEVERLY LANE  
 ST. AUGUSTINE, FL. 32092  
 COLEE COVE LOT 6

Project	Sheet
Date 05.12.16	13of15
Scale 1/4"=1'-0"	DETAIL WALL SECTIONS



TYPICAL WALL SECTION  
(SIDING)



TYPICAL WALL SECTION  
TWO STORY  
(SIDING)

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

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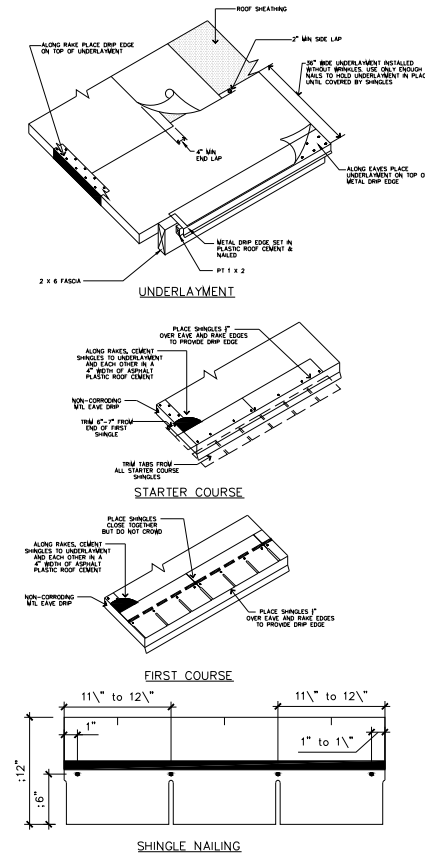
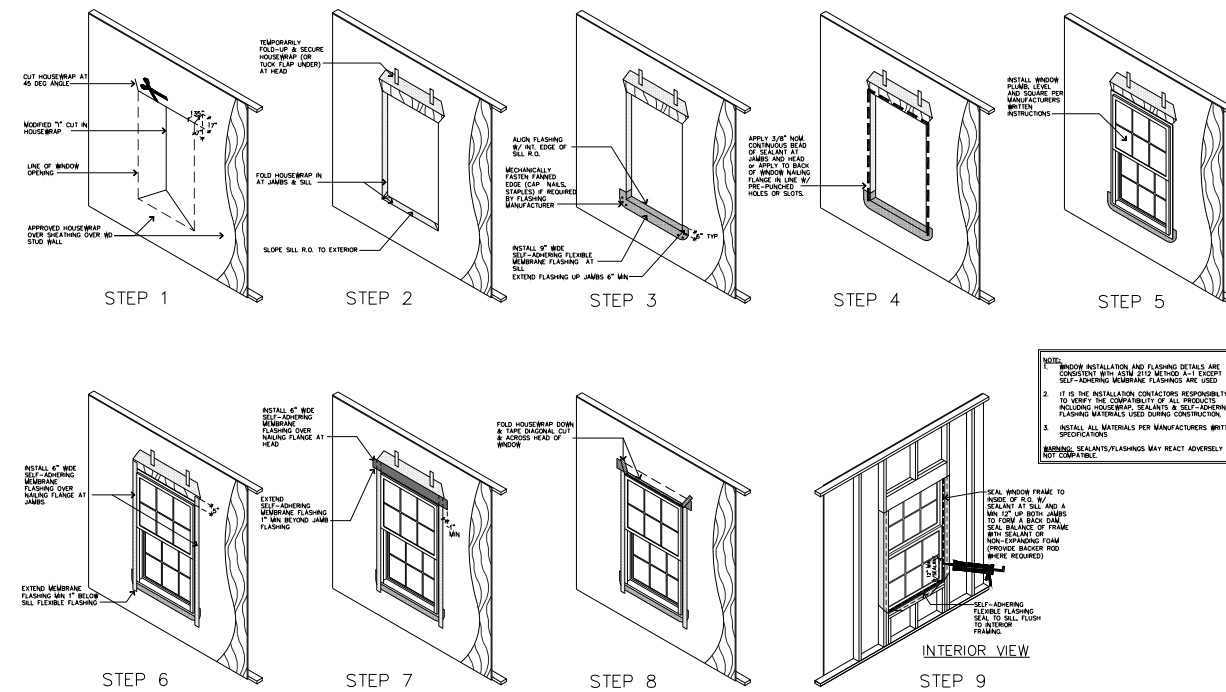
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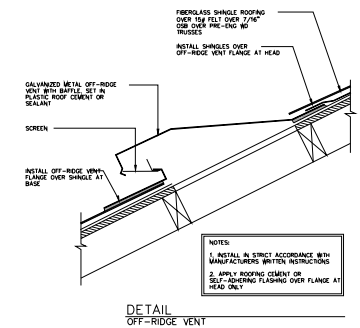
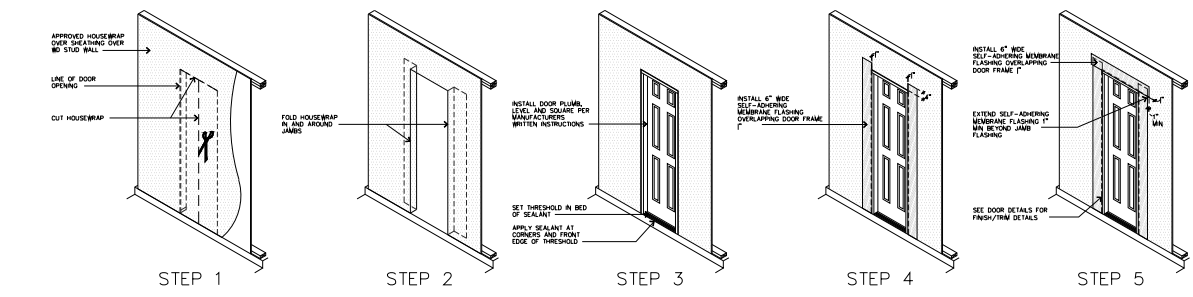
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 COLEE COVE LOT 6

Project	Sheet
Date 05.12.16	14 of 15
Scale 1/4"=1'-0"	WALL SECTIONS

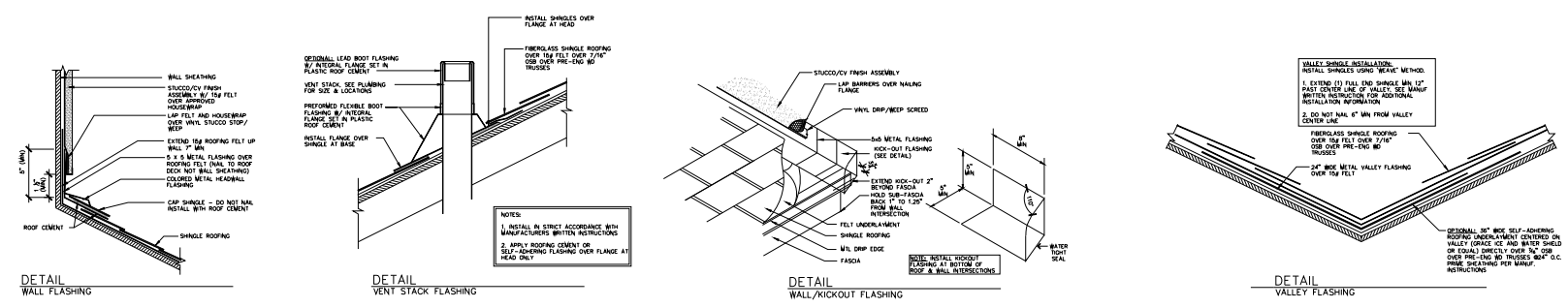


**NOTES:**  
1. WINDOW INSTALLATION AND FLASHING DETAILS ARE CONSISTENT WITH ASTM D1187 METHOD A-1 EXCEPT SELF-ADHERING MEMBRANE FLASHINGS ARE USED.  
2. IT IS THE INSTALLATION CONTRACTORS RESPONSIBILITY TO VERIFY THE COMPATIBILITY OF ALL IMPROVING FLASHING MATERIALS USED DURING CONSTRUCTION.  
3. INSTALL ALL MATERIALS PER MANUFACTURERS WRITTEN SPECIFICATIONS.  
MEMBRANE SEALANTS/FLASHINGS MAY REACT ADVERSELY IF NOT COMPATIBLE.

**WINDOW FLASHING INSTALLATION DETAILS**  
SCALE: NTS



**DOOR FLASHING INSTALLATION DETAILS**  
SCALE: NTS



PLANS CONFORM TO THE REQUIREMENTS OF 2014 FLORIDA BUILDING CODES

No.	DELETED WINDOWS	9.15.16
No.	Revision/Issue	Date

Firm Name and Address  
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Project	Sheet
Date 05.12.16	15 of 15
Scale 1/4"=1'-0"	FLASHING DETAILS