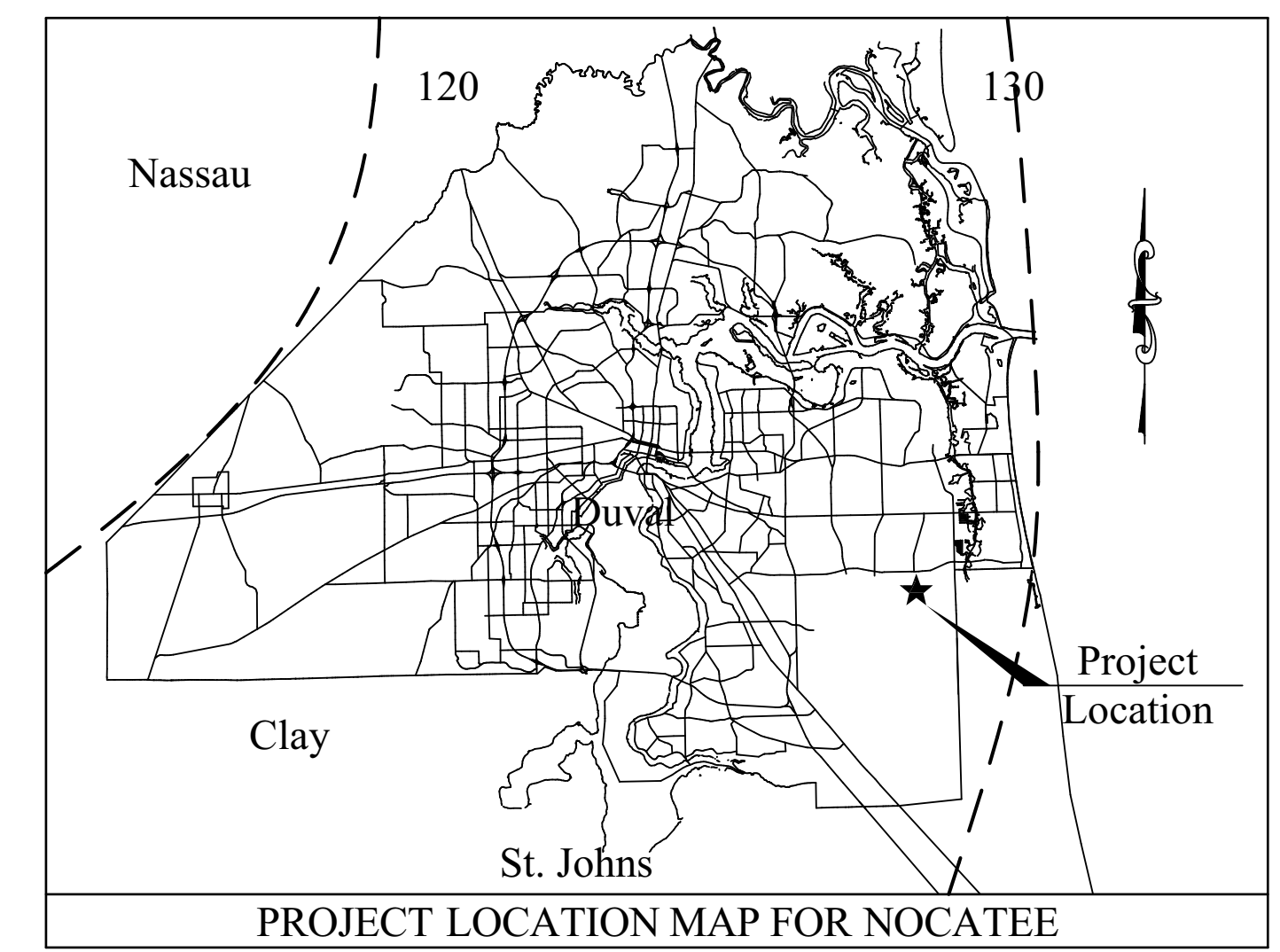


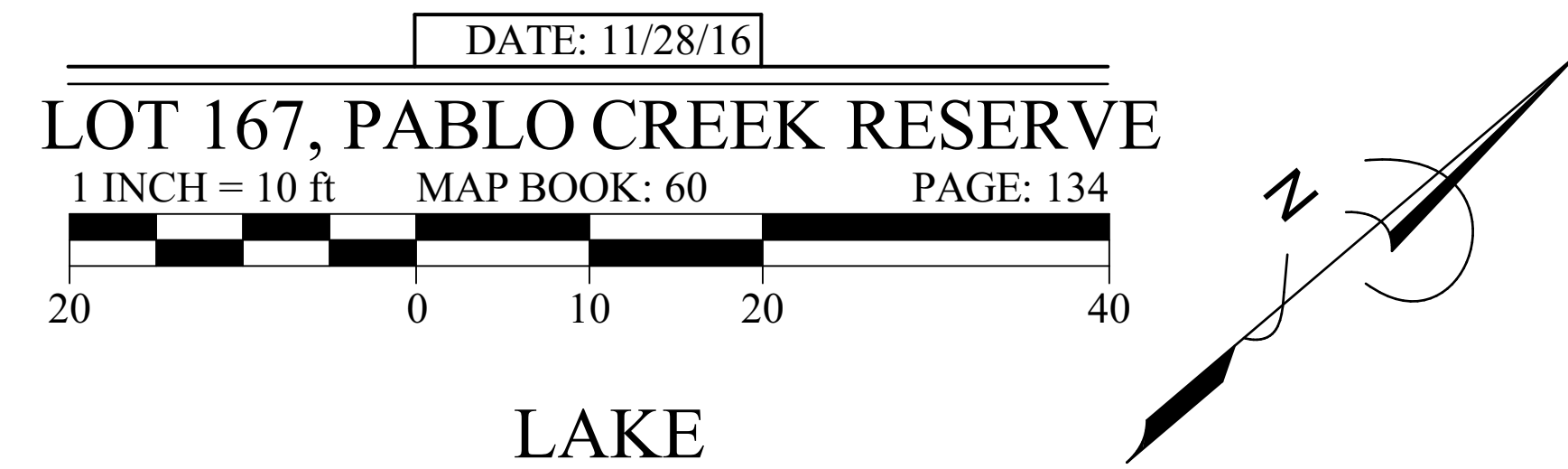
# DUVAL COUNTY RESIDENTIAL COVER SHEET



REVISIONS:


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AREA TAB	
LOT S.F. TOTAL	13,500.00
LOT S.F. (FROM P.L. TO CURB +/-12.0')	1,260.00
HOUSE FOOTPRINT S.F.	3,760.00
DRIVEWAY S.F.	1,093.00
DRIVEWAY APRON S.F.	210.00
POOL S.F.	0.00
COMMUNITY SIDEWALK S.F.	245.00
HOUSE WALKWAY S.F.	290.00
PLANTING BEDS S.F. (ALLOWANCE)	1,500.00
SOD S.F.	7,662.00
EASEMENTS (NOT IN TREE CALCS.)	0
BUFFERS (NOT TO BE SODDED)	0
BUILDING COVERAGE	28%
TOTAL LOT COVERAGE	38%



**SITE PLAN NOTES:**

OVERHANG PROTECTION IS REQUIRED WHEN LOCATED LESS THAN 5' FROM THE PROPERTY LINE. SEE ROOF PLAN FOR PROTECTION LOCATIONS AND INFORMATION.

OVERHANG PROTECTION IS **NOT** REQUIRED FOR THIS LOT

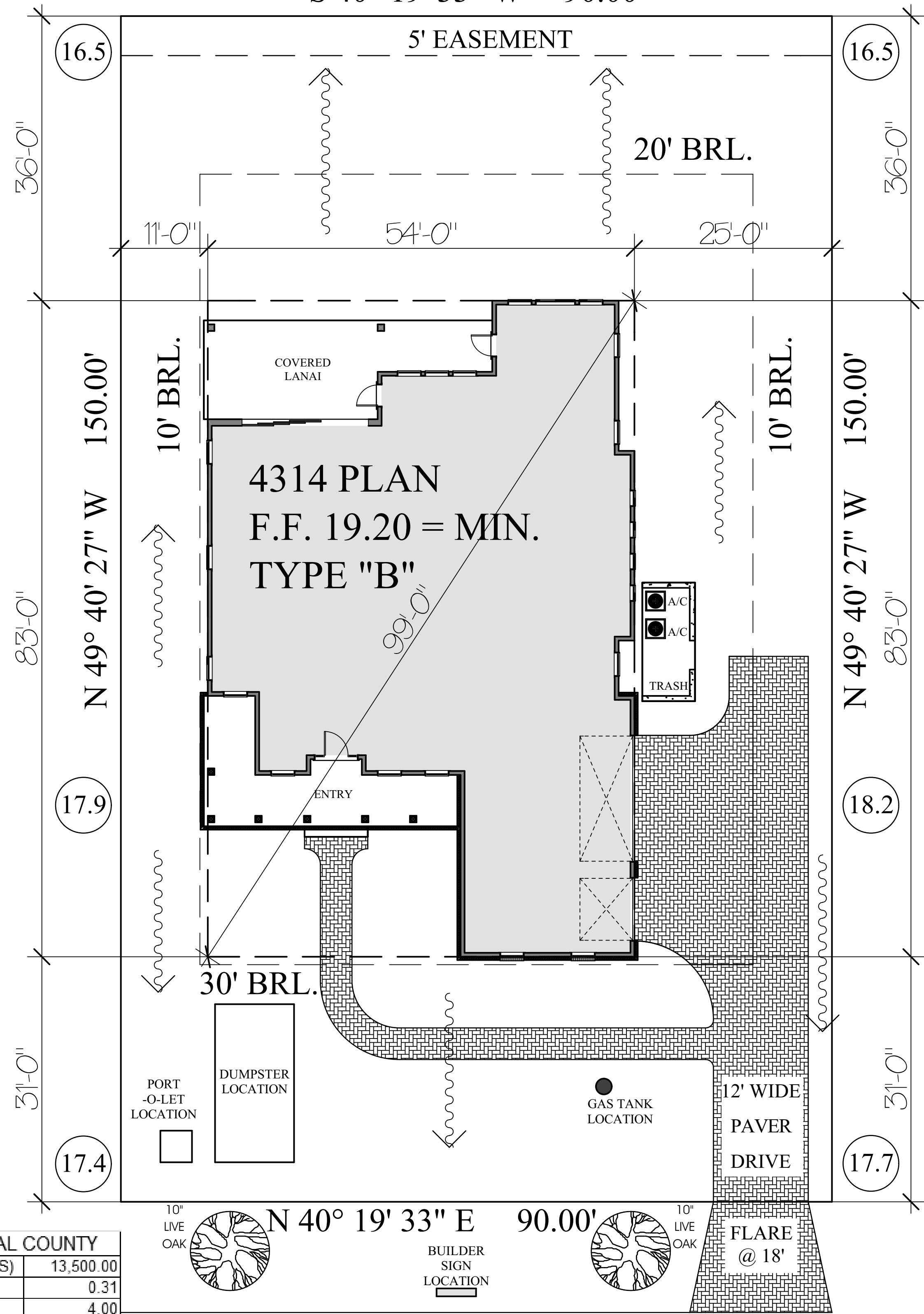
ALL SIDEWALK AND FLATWORK SHALL, AT A MINIMUM, MEET CURRENT ST. JOHNS COUNTY AND ADA STANDARDS. CROSS SLOPES SHALL BE NO MORE THAN 2%. THE PORTION OF THE SIDEWALK WHICH TRANSVERSES THROUGH THE DRIVEWAY/APRON SHALL ALSO MEET THIS REQUIREMENT. ALSO, UTILITIES (METER BOXES, VALVES, ETC.) SHALL NOT BE INSTALLED WITHIN THE SIDEWALK.

SETBACKS ARE MEASURED TO THE FOUNDATION WALL.

70% OF ALL TREES TO BE CANOPY TREES. ONLY 50% ARE TO BE OF ONE SPECIES

THIS LOT IS LOCATED IN FEMA FLOOD ZONE "X".

GRADING AWAY FROM HOUSE SHALL BE A MINIMUM OF 1%



**SITE PLAN**

TREE CREDIT TABLE - DUVAL COUNTY	
LOT S.F. (LESS ESMTS. & WETLANDS)	13,500.00
% OF ACRE (DIV. BY 43,560 S.F.)	0.31
4" FOR FIRST 5,000 S.F.	4.00
2" EACH ADDITIONAL 2,500 S.F.	6.80
# OF INCHES REQ'D. TREES	11.00
# OF INCHES EXISTING TREES	0.00
# OF INCHES NEEDED (MINUS EXIST.)	11.00
*** FOR UNPLATTED LAND IN DUVAL COUNTY ***	

COTTAGE LAKE ROAD  
(60' R/W)

DreamDesign 36:  
Spec Home - Lot 97, Pablo Creek Reserve  
14303 Cottage Lake Road  
Jacksonville, FL 32224

BUILDER: Shawn Starr - (904) 612-6946, shawn@starrcustom.com  
HOME DESIGNER: Sam Clausen - (904) 759-6036, sclausen@bellsouth.net  
INTERIOR DESIGNER: Josie Myers - (904) 535-1981, msjdesigninc@gmail.com  
ENGINEER: Lou Pontigo - (904) 242-0908, lou@lp-a.com

- INDEX OF DRAWINGS:**
- C-1 COVER SHEET
  - A-1 FOUNDATION
  - A-2 1ST FLOOR PLAN / 1ST FLOOR FLOORING PLAN
  - A-3 2ND FLOOR PLAN / 2ND FLOOR FLOORING PLAN
  - A-4 ELEVATIONS / ROOF PLAN
  - A-5 ELEVATIONS
  - E-1 ELECTRICAL PLAN
  - F-1 FLASHING DETAILS

CURRENT BUILDING CODE: Florida Building Code 2014 Residential  
OCCUPANCY CLASS: Group R3  
CONSTRUCTION TYPE: 5B

**BUILDING AREA:**  
1st Floor A/C: 2439  
2nd Floor A/C: 1875  
Total A/C: 4314  
Garage: 711  
Entry: 265  
Lanai: 345  
Total Covered: 5635  
Overalls: 54'W x 83'D  
Roof Height: 34'-8"



LOT 97, PABLO CREEK RESERVE  
DREAMDESIGN 36

**CLAUSEN**  
residential design

4314

LIVING 1:	2439
LIVING 2:	1875
TOTAL A/C:	4314
GARAGES:	711
FRONT PORCHES:	265
REAR PORCHES:	345
TOTAL:	5635

DATE: 11/21/2016  
DESIGN BY: SAM CLAUSEN  
DRAWN BY: SAM CLAUSEN

PLAN NO.  
**C-1**  
COVER PAGE  
OF



LIVING 1:	2439
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**FRAMING NOTES**

1. Wall sheathing: 7/16" Zip System
2. Floor decking: 3/4" I-level EdgeGold or 3/4" Advantech flooring
3. Roofing sheathing: 5/8" CDX
4. Porch ceiling sheathing: 7/16" OSB
5. Install floor and roof trusses (provided by others)
6. Roof dry-in by others
7. No wall thickness are to be changed (e.g., 2x4 2x6) without builder approval
8. Check trade information for rough openings for exterior doors, interior doors, pocket doors and windows
9. Maintain door returns of 4" whenever possible to accommodate wide casing; review exceptions with builder prior to framing
10. Garage rough openings to be call size
11. Garage goal posts on interior only; no bucks on jambs
12. Staircase: closed stringer; wood treads and risers
13. Install double 2x4 curb at all open railing locations
14. Install double 2x4 curb at all second floor walk-in shower locations
15. Install 2x6 blocking around perimeter of walk-in showers at floor
16. Install appropriate blocking/nailers for drywall throughout, especially at tubs/showers

**TRUSS/METAL NOTES**

1. Trusses: open web; 2x6 bottom chords on roof trusses
2. Truss engineer to review HVAC duct placement with builder prior to finalizing design
3. Ensure no floor trusses in way of second floor plumbing
4. Quick-Tie structural metal system

**HOUSEWRAP/WINDOW TAPE NOTES**

1. Housewrap: n/a (ZIP System sheathing)
2. ZIP System seam taping: tape all wall sheathing seams, corners, penetrations, etc., in accordance with manufacturer's instructions with 4" ZIP System Tape (tape provided by builder)
3. Window tape: install 6" ZIP System Tape, all sides (butterfly sill corners) (tape provided by builder)

**WINDOW NOTES**

1. Windows: MI 3500 series vinyl single hung, low-E2, white
  2. SGD: MI 420 series aluminum, low-E2, white
- HVAC NOTES**
1. Minimum 15 SEER systems (trade to specify sizing, brand and equipment model numbers)
  2. Thermostat: Honeywell Lyric
  3. White adjustable grills
  4. Ductwork installation to meet Energy Star requirements
  5. Install condensate lines for all units as needed
  6. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
  7. Provide roof boots as needed

**GAS (propane) NOTES**

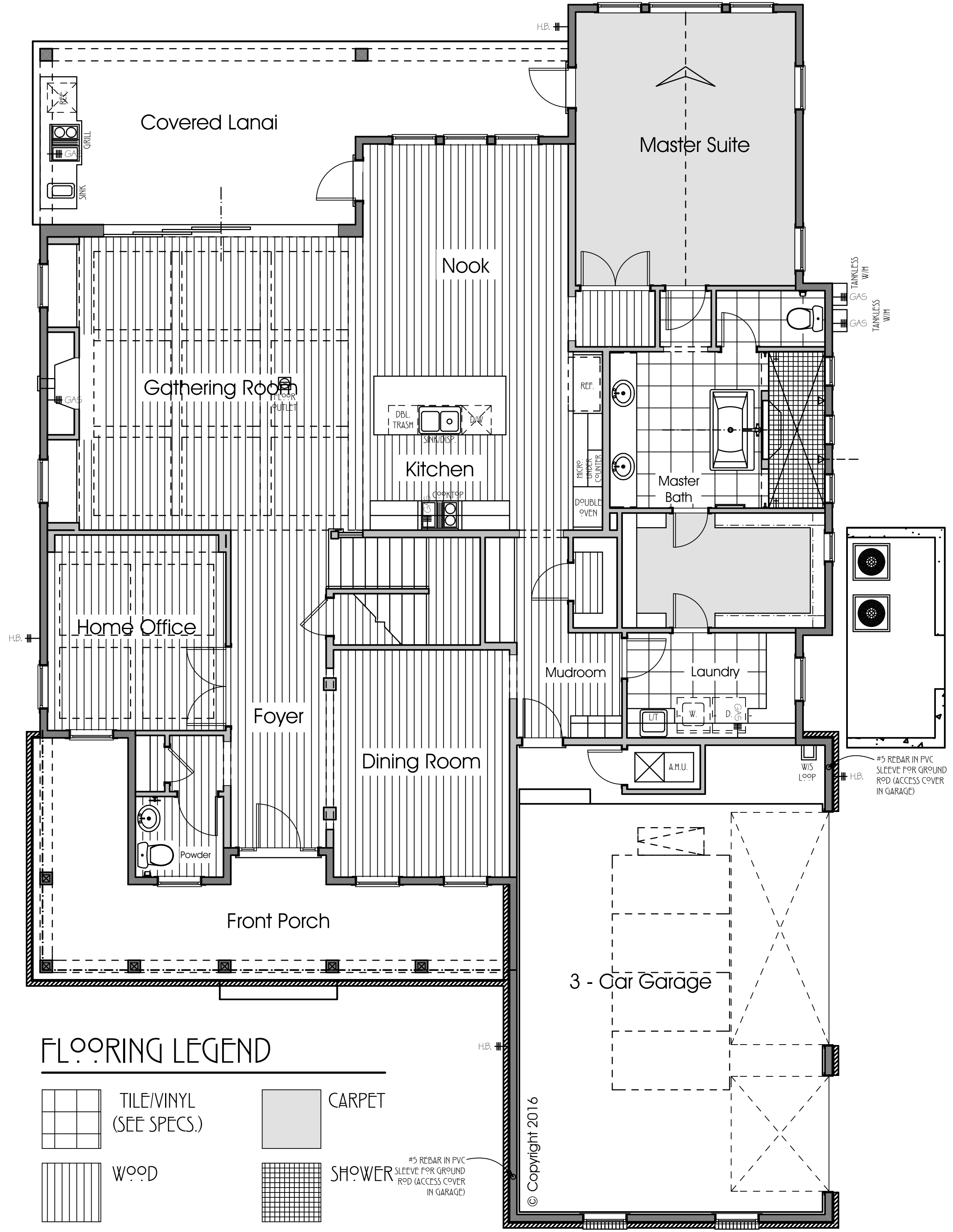
1. Note locations of gas drops: x5: cooktop, HWHs x2, grill, fireplace
2. Rinnai tankless HWH or equivalent (trade to specify sizing and equipment model numbers)
3. Provide and install buried 250g fuel tank and fill tank prior to end of construction
4. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.

**DRYWALL NOTES**

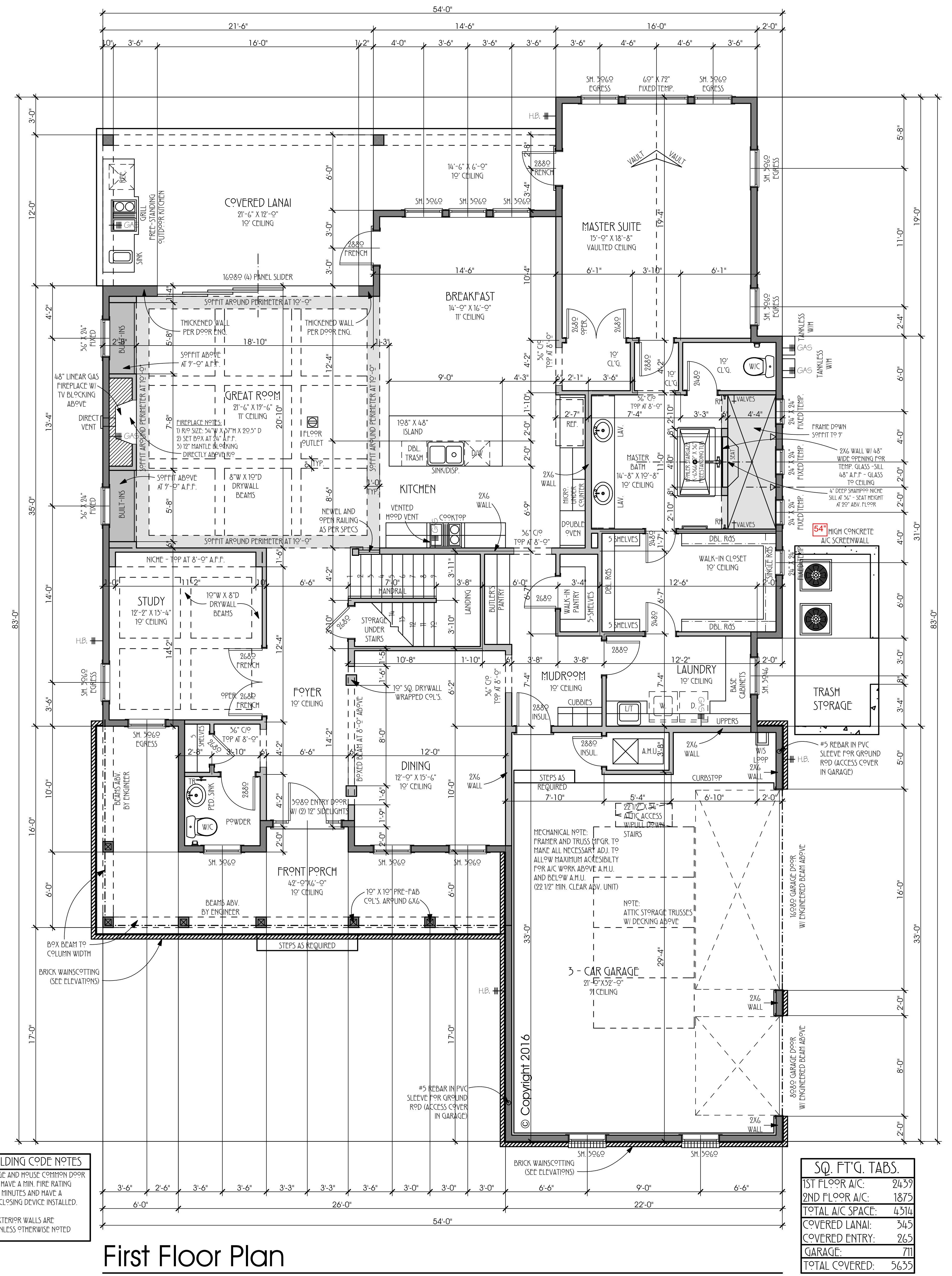
1. 4 x 12 boards (typical)
2. Walls: 1/2" regular sheetrock; level 4 smooth finish
3. Ceilings: 5/8" ceiling board; level 4 smooth finish (highbuild will be applied by painter)
4. Exterior ceilings: by others
5. Wet areas: Durock, to ceiling
6. Fireplace: Durock (for stone finish)
7. Fixed windows: do not drywall sills
8. Cased windows: do not drywall sills, jambs or header
9. Take special care to not leave exposed fasteners in pocket door cavities

**INSULATION NOTES**

1. Ceiling: R-38 blown fiberglass
2. Walls: R-21 high density fiberglass batt
3. Other areas: insulate per building code
4. Building caulking and sealing to meet Energy Star requirements



**First Floor Flooring Plan**  
 3/16" = 1'-0"



**First Floor Plan**  
 Proposed Tilak Residence

LIVING 1:	2439
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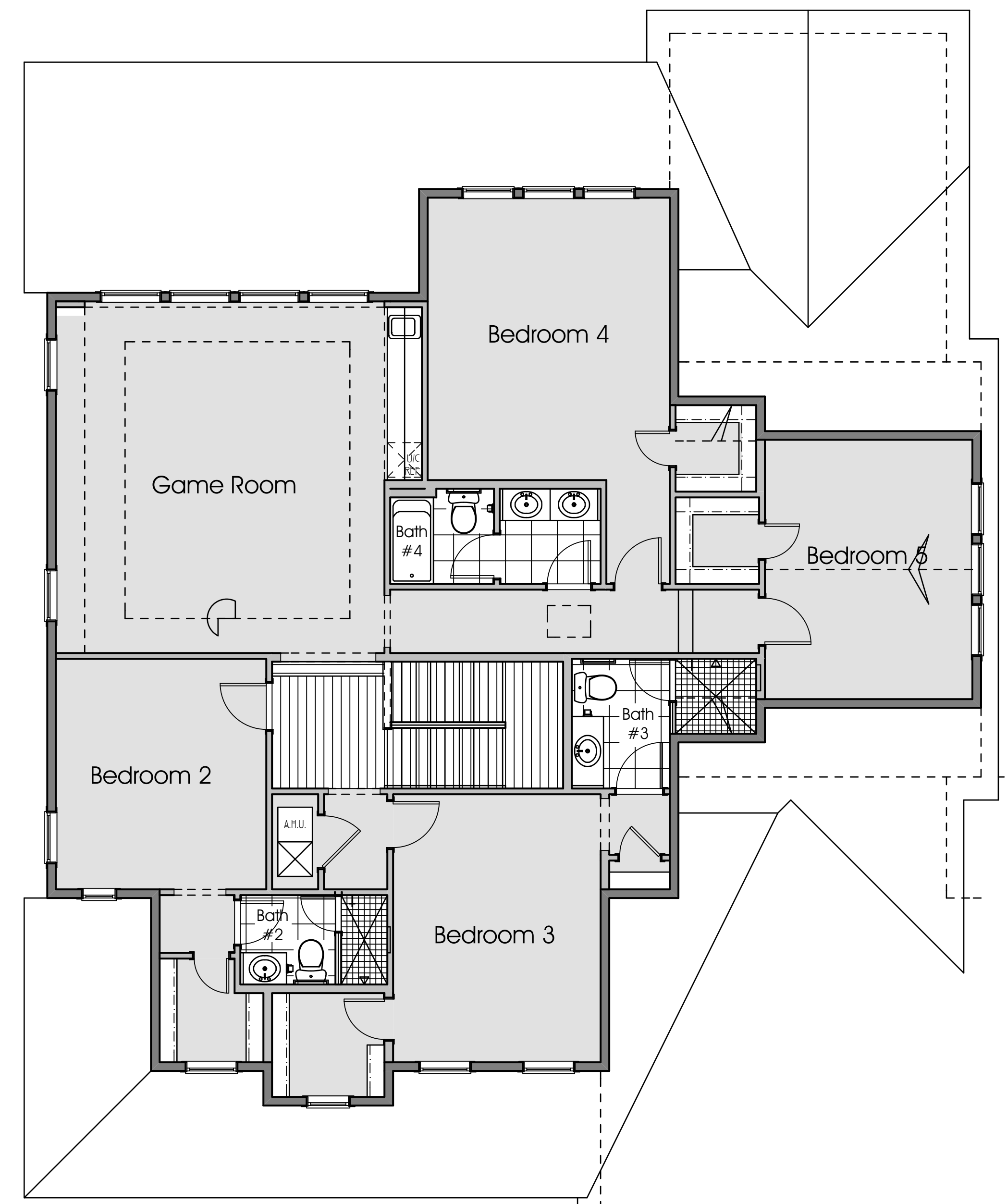
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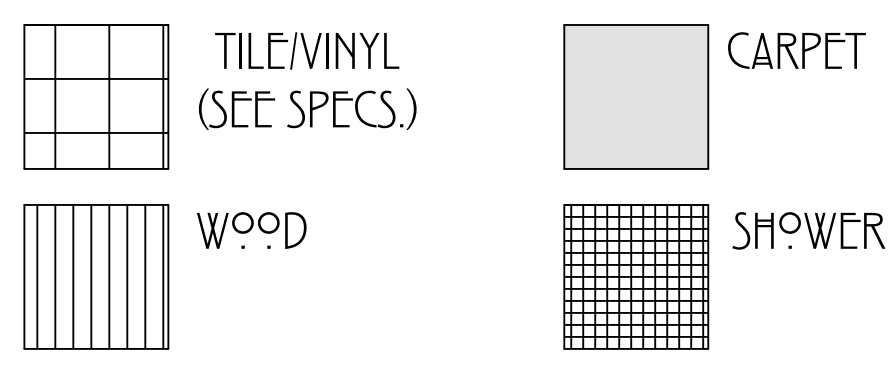
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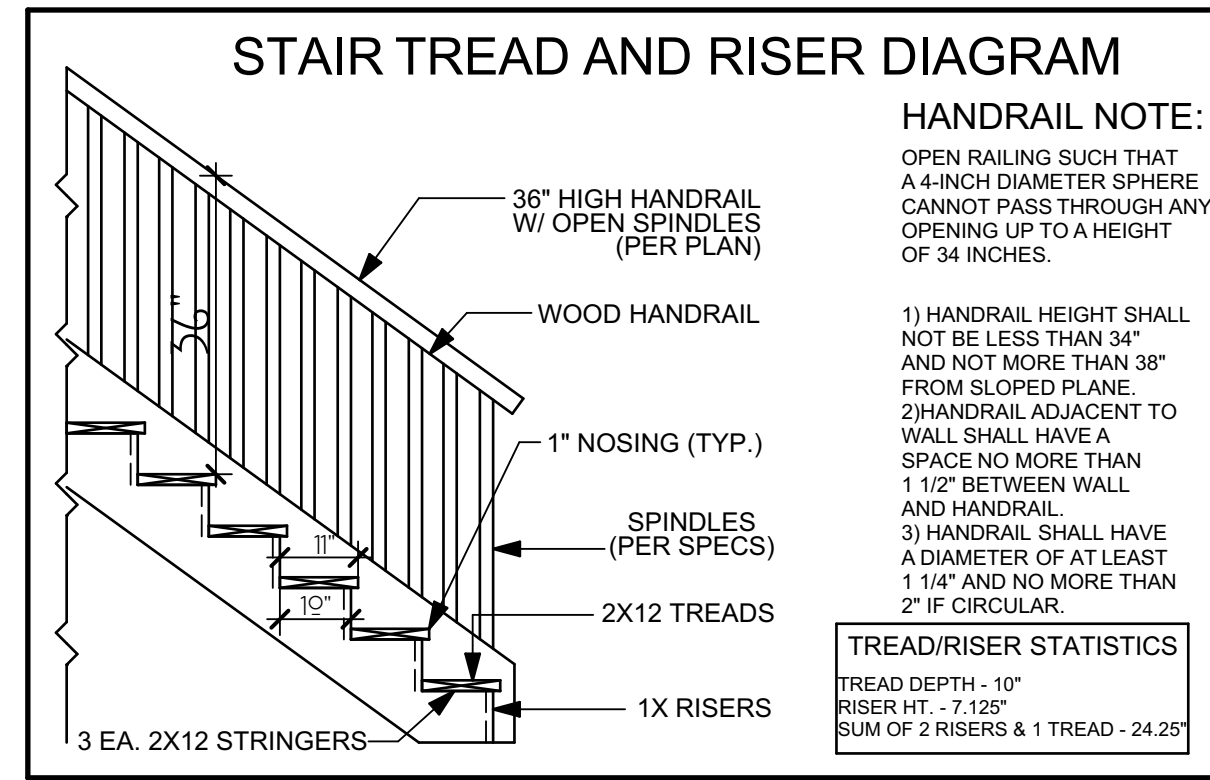
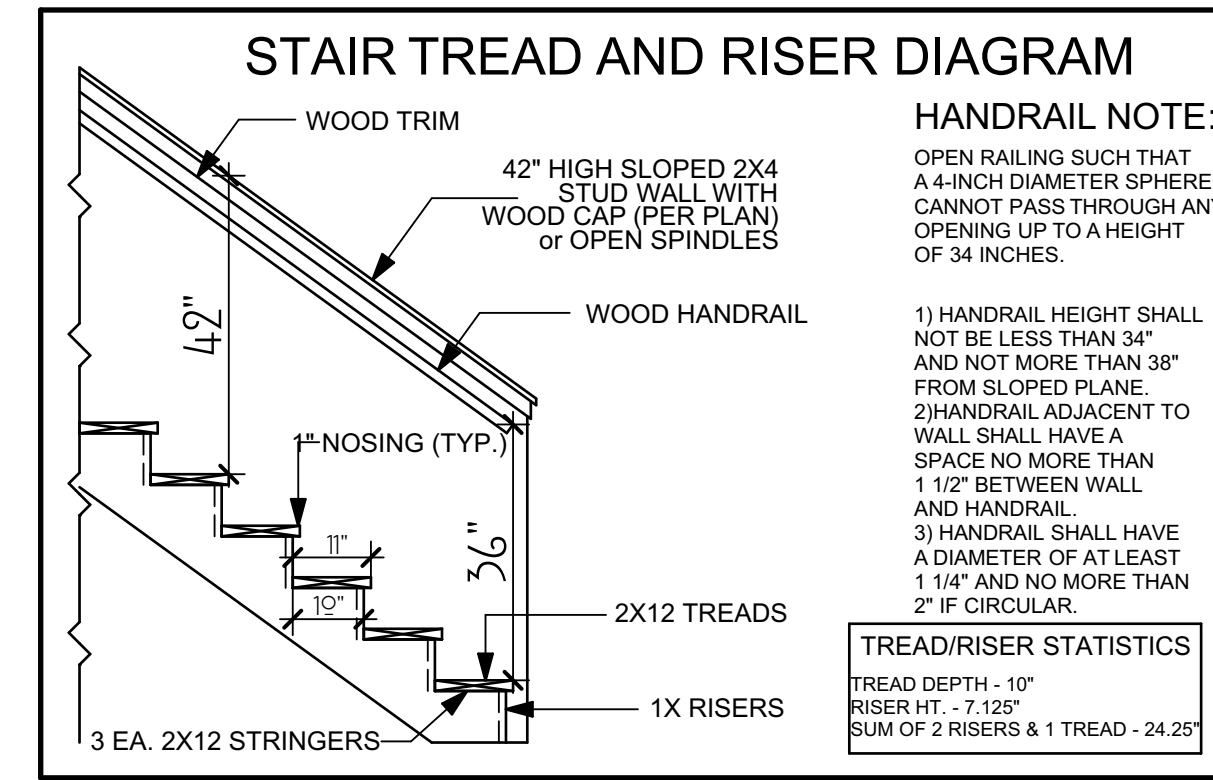
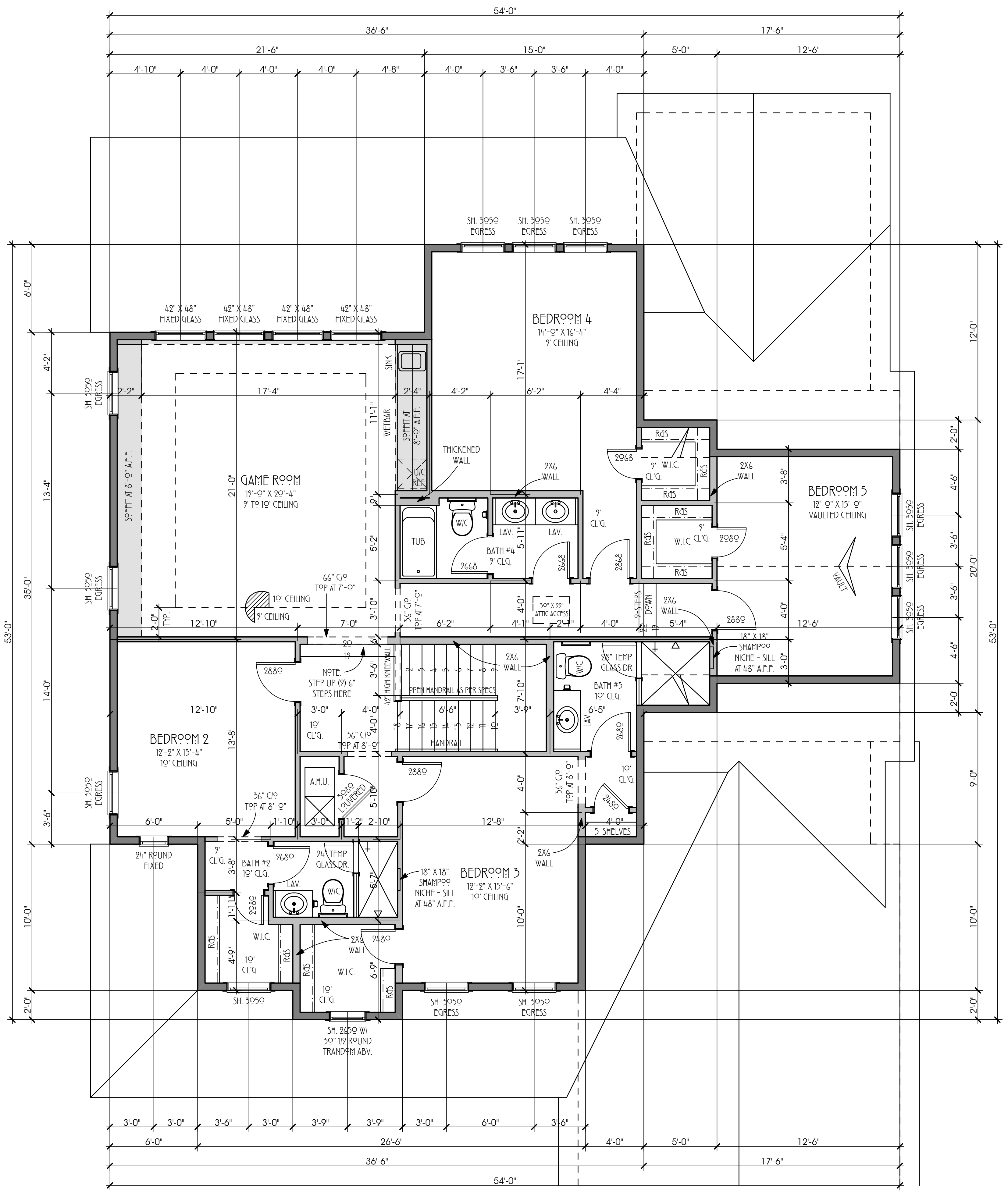


**FLOORING LEGEND**



**Second Floor Flooring Plan**

3/16" = 1'-0"



**Second Floor Plan**

Proposed Tilak Residence



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**LOT 97, PABLO CREEK RESERVE**  
**DREAMDESIGN 36**

**CLAUSEN**  
 residential design

**4314**

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DATE: 11/21/2016  
 DESIGN BY: SAM CLAUSEN  
 DRAWN BY: SAM CLAUSEN

PLAN NO.

**A-5**

OF

**SIDING NOTES**

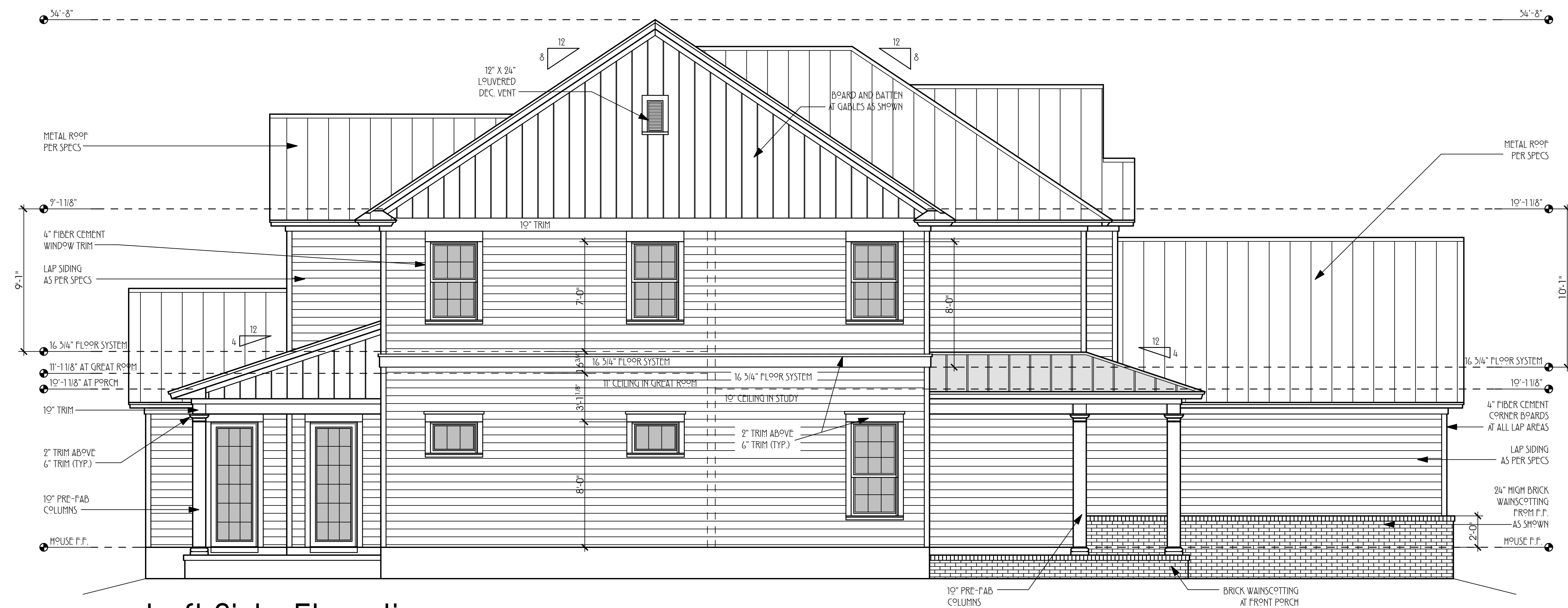
1. All materials primed
2. Hardie CedarMill Select 7 1/4" (6" reveal) lap siding
3. 5/4 HardieTrim boards, smooth
4. 4" width Hardie panel, smooth
5. 3/4 x 2 3/4 Hardie batten strips, 16" OC, smooth
6. Shutters: operable wood or composite with hardware and stops; size on plans
7. Gable vents: paintable vinyl; size on plans
8. Columns: Pre-fab Fypon CWK186137 5/8" recessed 10" x 10" column wrap with cap and base
9. Installation according to manufacturer's instructions
10. All trim and seams to be straight, plumb and tight

**SOFFIT/FASCIA NOTES**

1. Soffit: Hardie smooth, vented
2. Fascia: HardieTrim board size per plans, smooth
3. Porch: by others
4. All materials primed
5. Installer responsible for providing and installing any backing/furring strips for soffit.

**STONE/STUCCO NOTES**

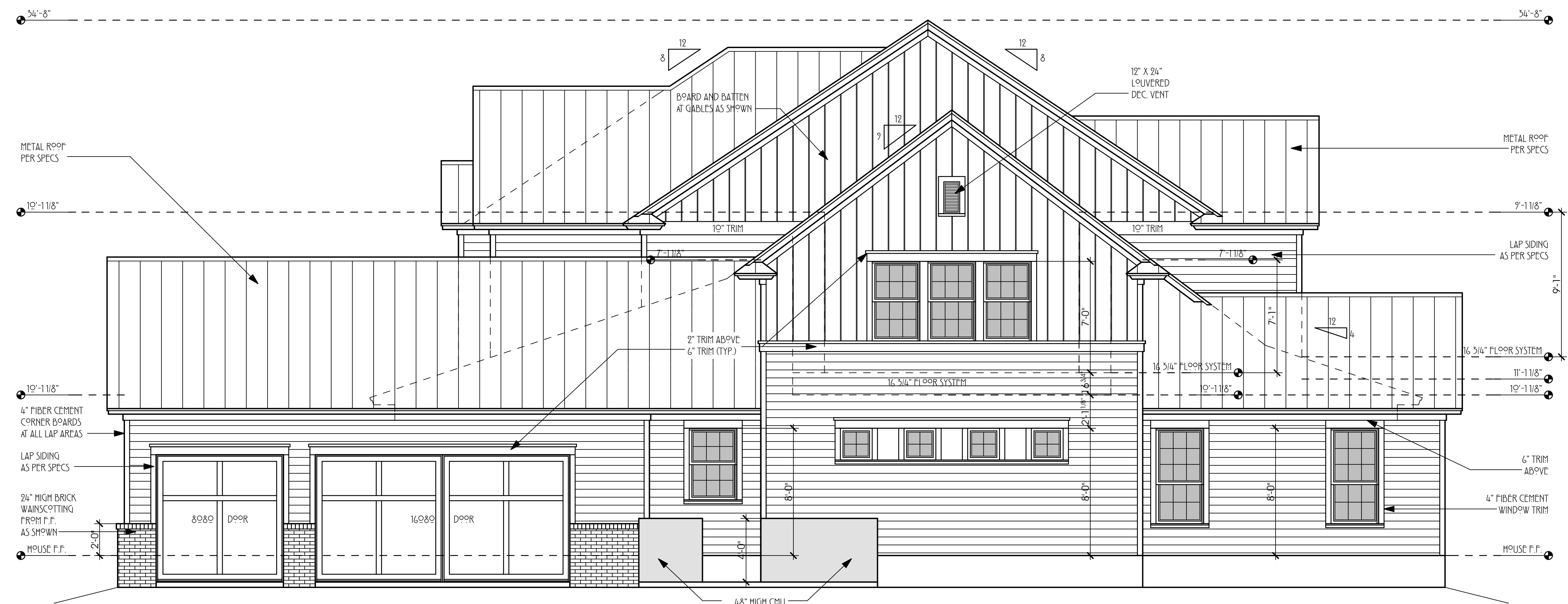
1. Eldorado Stone Tundra Brick, Ashland, gray mortar
2. Fireplace and outdoor kitchen stone: same as above
3. Stucco: skip trowel stemwall foundation



**Left Side Elevation**

1/4" = 1'-0"

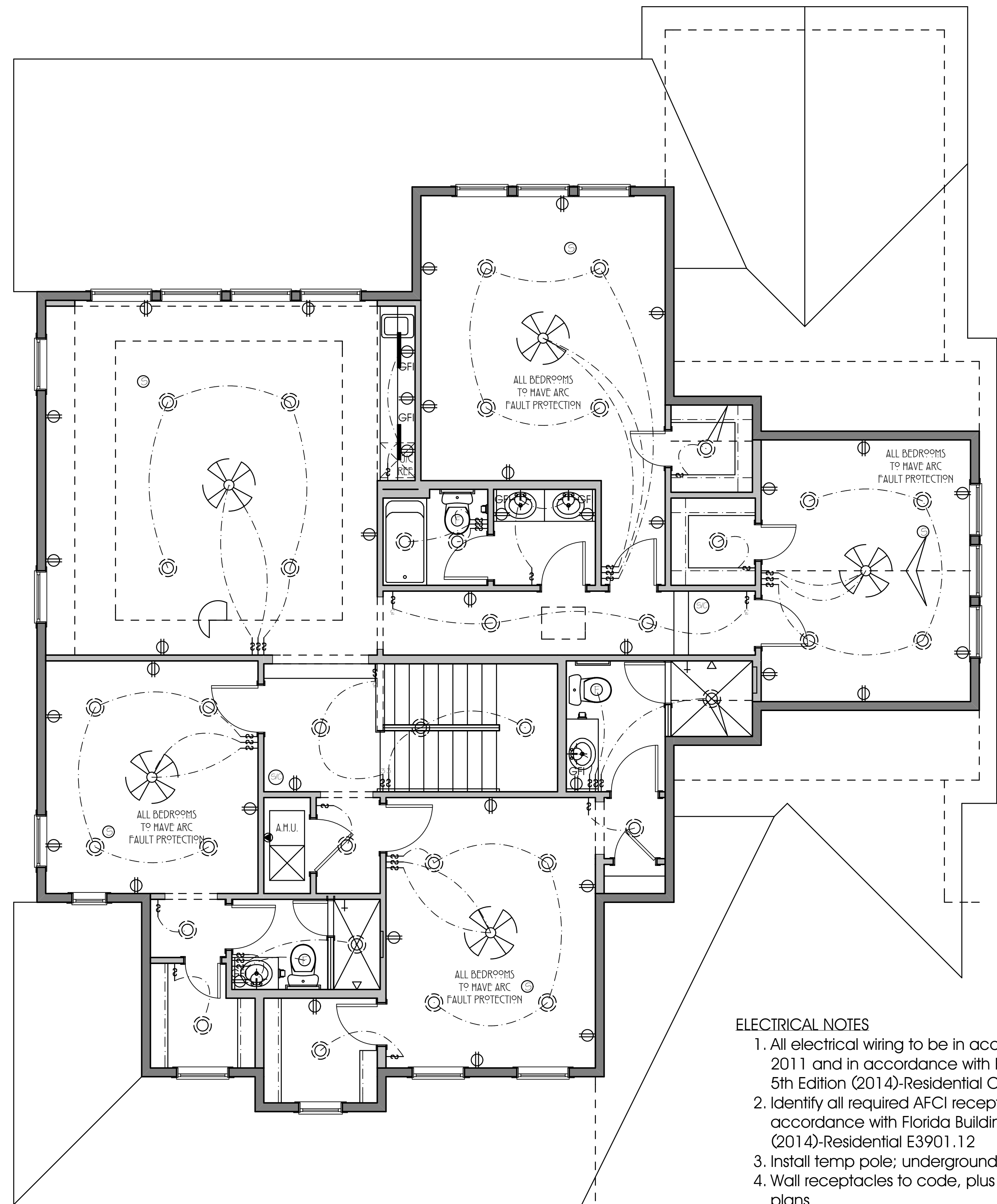
FARMHOUSE



**Right Side Elevation**

1/4" = 1'-0"

FARMHOUSE

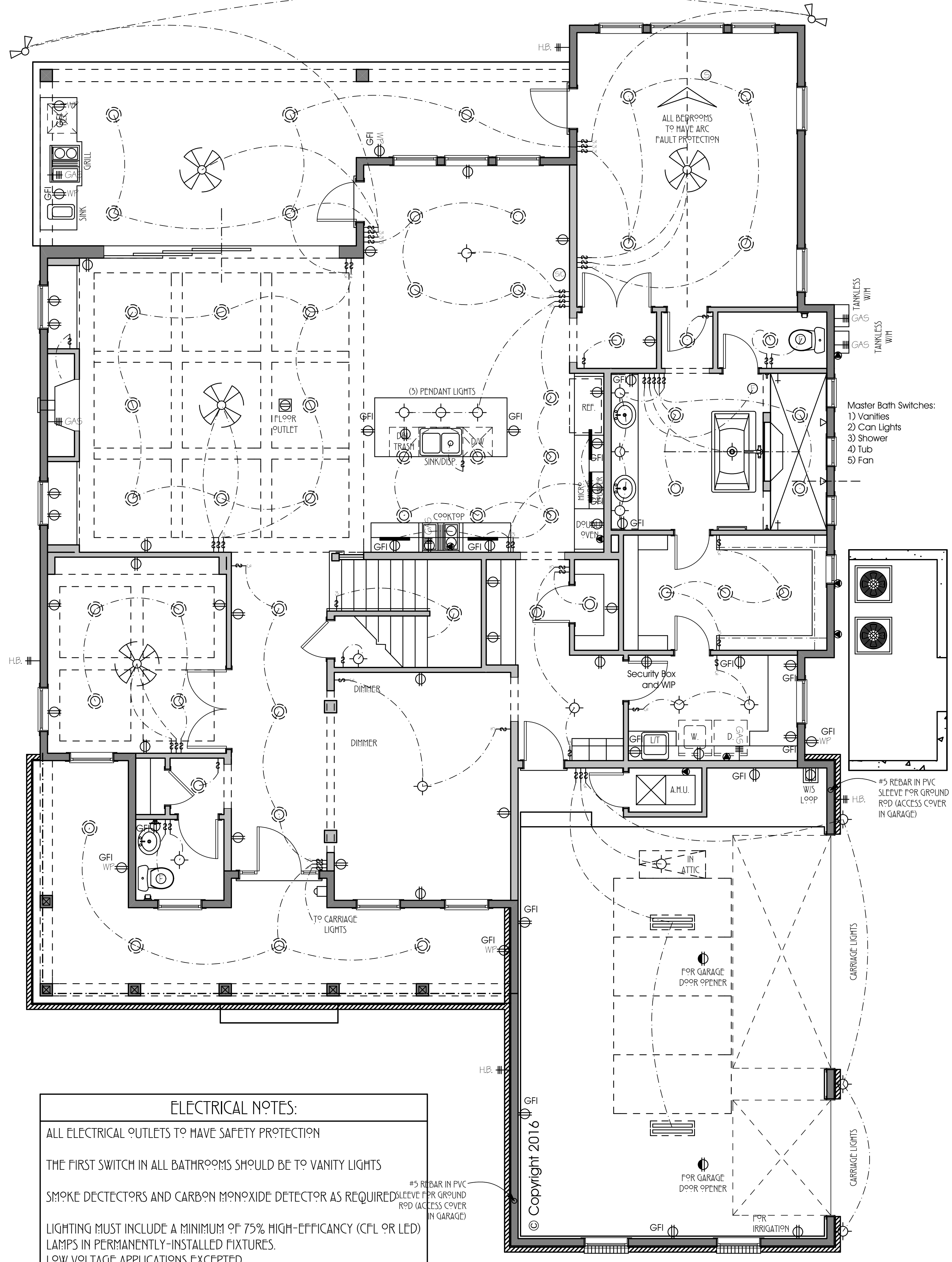


- ELECTRICAL NOTES**
- All electrical wiring to be in accordance with NEC 2011 and in accordance with Florida Building Code 5th Edition (2014)-Residential Chapter 34.
  - Identify all required AFCI receptacle locations in accordance with Florida Building Code 5th Edition (2014)-Residential E3901.12
  - Install temp pole; underground by others
  - Wall receptacles to code, plus additional per plans
  - Decora switches
  - Subcontractor to provide and install all fixtures for attic lighting, recessed lighting, LED rope undercabinet lighting, fluorescent lighting, bath fans, doorbell and double floodlights; install only all decorative surface mount fixtures and ceiling fans provided by builder/lighting supplier
  - Bond gas line, if present

- LOW VOLTAGE NOTES**
- Standard package:
    - Structured wiring with 16 drops
    - Full security system with all openings contacted and two keypads
    - Surround sound pre-wire in great room and game room with speaker locations capped
  - Additional items per homeowner selection at showroom visit
  - Provide updated quote and mark-up to builder after showroom visit and include additional corresponding electrical needs, if any

ELECTRICAL LEGEND			
	WALL LIGHT FIXTURE		RECESSED CEILING LIGHT FIXTURE
	WATER PROOF OUTLET		SMOKE DETECTOR
	FLOOR OUTLET		TELEPHONE JACK
	RECEPTACLE OUTLET SWITCH ONE LEG		TRIM (PHONE CABLE)
	RECESSED EYE LIGHT		CABLE OUTLET
	WALL OUTLET		EXHAUST FAN
	220 WALL OUTLET		FLOUORESCENT LIGHT
	SURFACE MOUNT CEILING LIGHT FIXTURE		FANLIGHT COMBO
			DOORBELL
	SINGLE SWITCH		SPEAKER'S CEILING MOUNT
	3-WAY SWITCH		SPEAKER'S WALL MOUNT
	4-WAY SWITCH		SPEAKER CONTROL
	PREWIRE & BRACE FOR FAN		UNDER COUNTER LIGHTING
	FLOUORESCENT LIGHT		BUYER LOCATED HOSE BIB
	FANLIGHT COMBO		GAS STUB
	DOORBELL		SMOKE AND CARBON MONOXIDE DETECTOR

**Second Floor Electrical Plan**  
 1/4" EQUALS 1'-0"



- ELECTRICAL NOTES:**
- ALL ELECTRICAL OUTLETS TO HAVE SAFETY PROTECTION
- THE FIRST SWITCH IN ALL BATHROOMS SHOULD BE TO VANITY LIGHTS
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTOR AS REQUIRED
- LIGHTING MUST INCLUDE A MINIMUM OF 75% HIGH-EFFICACY (CFL OR LED) LAMPS IN PERMANENTLY-INSTALLED FIXTURES. LOW VOLTAGE APPLICATIONS EXCEPTED
- ALL CAN LIGHTS TO BE LED

**First Floor Electrical Plan**  
 1/4" EQUALS 1'-0"

