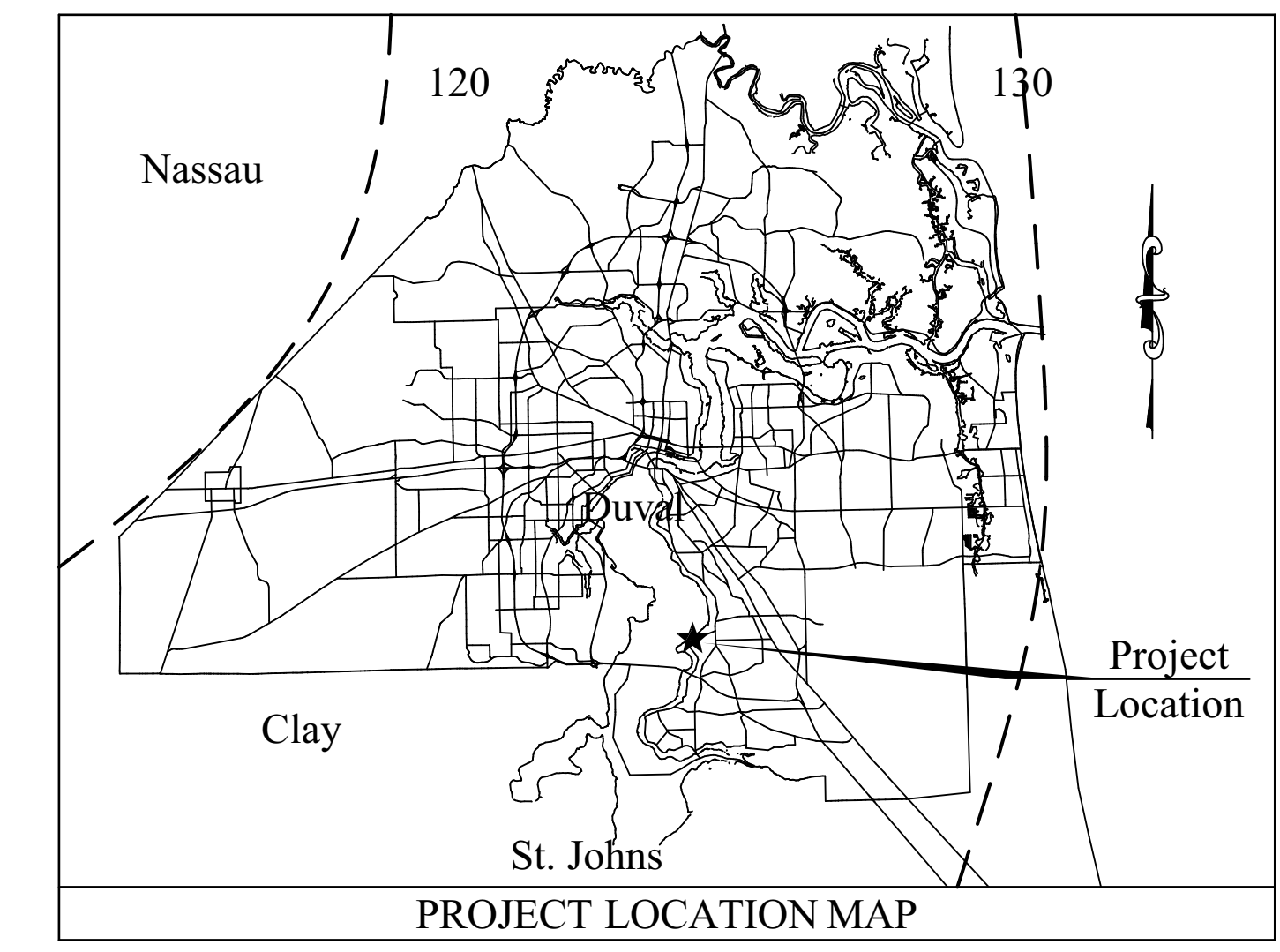


DUVAL COUNTY RESIDENTIAL COVER SHEET



REVISIONS:

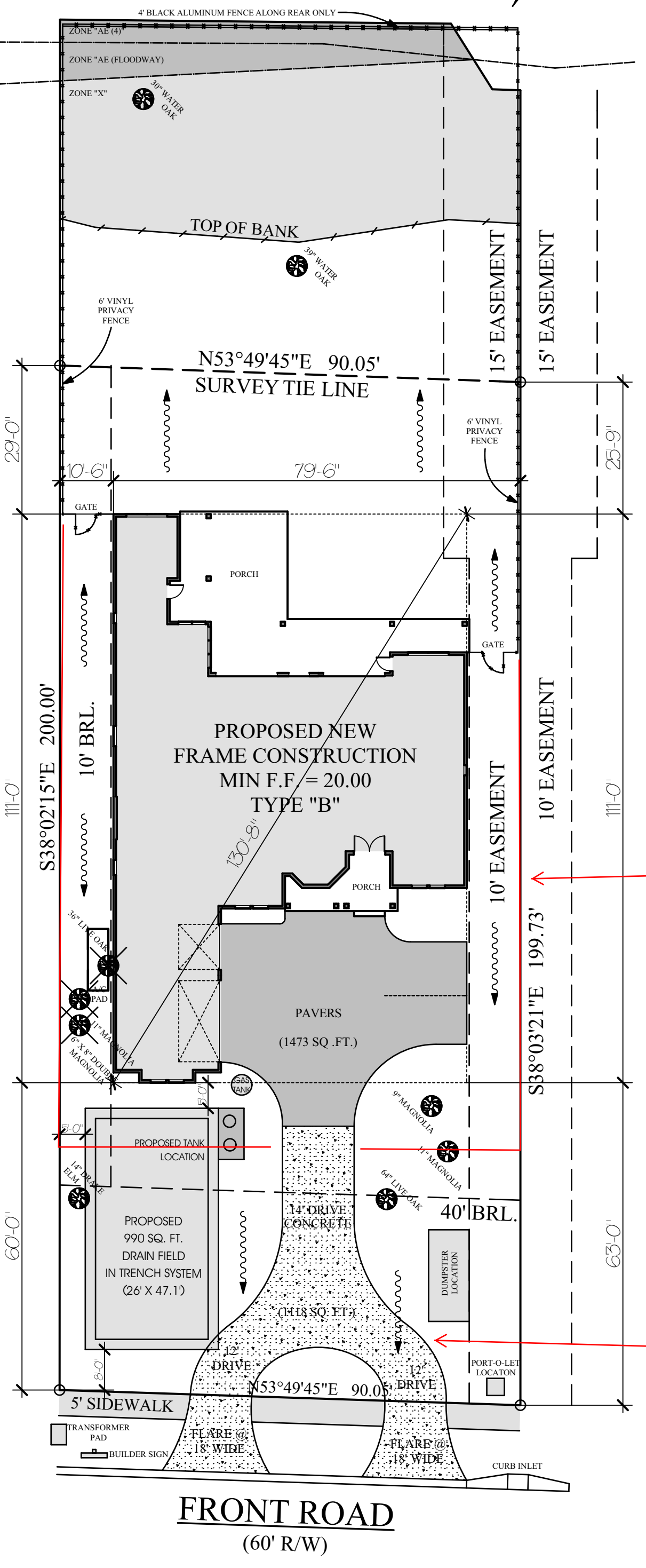
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DATE: 07-APR-2017
 LOT 12, BLOCK 1, AS SHOWN ON
 PLAT FOR BEAULCERC BLUFF UNIT 3
 1 INCH = 20.0' MAP SHEET: 34 PAGE: 36

SITE PLAN NOTES:
 OVERHANG PROTECTION IS REQUIRED WITH 12" MIN. CLEARANCE FROM THE PROPERTY LINE. SEE BLOCK PLAN FOR PROTECTION LOCATIONS AND INFORMATION.
 OVERHANG PROTECTION IS NOT REQUIRED FOR THIS LOT.
 ALL SEWER AND PLUMBING SHALL BE A MINIMUM NET-CURRENT ST. JOHNS COUNTY AND AN APPROVED CROWN. BLENDS SHALL BE NO MORE THAN 1/4" IN THE PORTION OF THE SIDE WALL WITH 1/4" TRANSITION THROUGH THE DRIVEWAY APRON SHALL ALSO MEET THIS REQUIREMENT. ALL UTILITIES SHALL BE INSTALLED WITHIN THE SIDEWALK.
 SETBACKS ARE MEASURED TO THE PERIMETER WALL.
 75% OF ALL TREES TO BE CANOPY TREATED. ONLY 25% ARE TO BE OF ONE SPECIES.
 THIS LOT IS LOCATED IN FEMA FLOOD ZONE "X".
 GRADING AN INTERIOR HOUSE SHALL BE A MINIMUM OF 1/4"

AREA TAB

LOT S.F. TOTAL	24,036.00
LOT S.F. FROM P.L. TO CURB (42.5')	1,351.00
HOUSE FOOTPRINT S.F.	1,250.00
DRIVEWAY S.F.	2,521.00
DRIVEWAY APRON S.F.	443.00
POOL S.F.	0.00
COMMUNITY SIDEWALK S.F.	320.00
HOUSE WALKWAY S.F.	1.00
PLANTING BEDS S.F. (ALLOWANCE)	1,200.00
300' S.F.	16,632.00
EASEMENTS (NOT IN TREE CALCS)	0
BUFFERS (NOT TO BE SODDED)	0
BUILDING COVERAGE	22%
TOTAL LOT COVERAGE	32%



F.F. ELEV. OF EXISTING HOME 19.35'

F.F. ELEV. OF EXISTING HOME 19.62'

add up to 300 LF of alum fence per CO 3301 (location approximate)

change to pavers per CO 3301

DreamDesign 33: Tilak Residence
 2939 Front Road
 Jacksonville, FL 32257
 Beauclerc Bluff, Lot 12

BUILDER: Shawn Starr - (904) 612-6946, shawn@starrcustom.com
 HOME DESIGNER: Sam Clausen - (904) 759-6036, sclausen@bellsouth.net
 INTERIOR DESIGNER: Josie Myers - (904) 535-1981, msjdesigninc@gmail.com
 ENGINEER: Lou Pontigo - (904) 242-0908, lou@lp-a.com

- INDEX OF DRAWINGS:**
- C-1 COVER SHEET
 - A-1 FOUNDATION
 - A-2 1st FLOOR PLAN
 - A-3 2nd FLOOR PLAN
 - A-4 FLOORING PLAN
 - A-5 ROOF PLAN
 - A-6 ELEVATIONS
 - A-7 ELEVATIONS
 - E-1 ELECTRICAL PLAN
 - E-2 ELECTRICAL PLAN
 - F-1 FLASHING DETAILS

CURRENT BUILDING CODE: Florida Building Code 2014 Residential
 OCCUPANCY CLASS: Group R3
 CONSTRUCTION TYPE: 5B

BUILDING AREA:
 1st Floor A/C: 3420
 2nd Floor A/C: 2046
 Total A/C: 5466
 Garage: 749
 Entry: 150
 Rear Porches: 929
 Total Covered: 7294
 Uncov. Patio: 346
 Overall: 69'W x 111'D
 Roof Height: 32'-9"



TILAK RESIDENCE

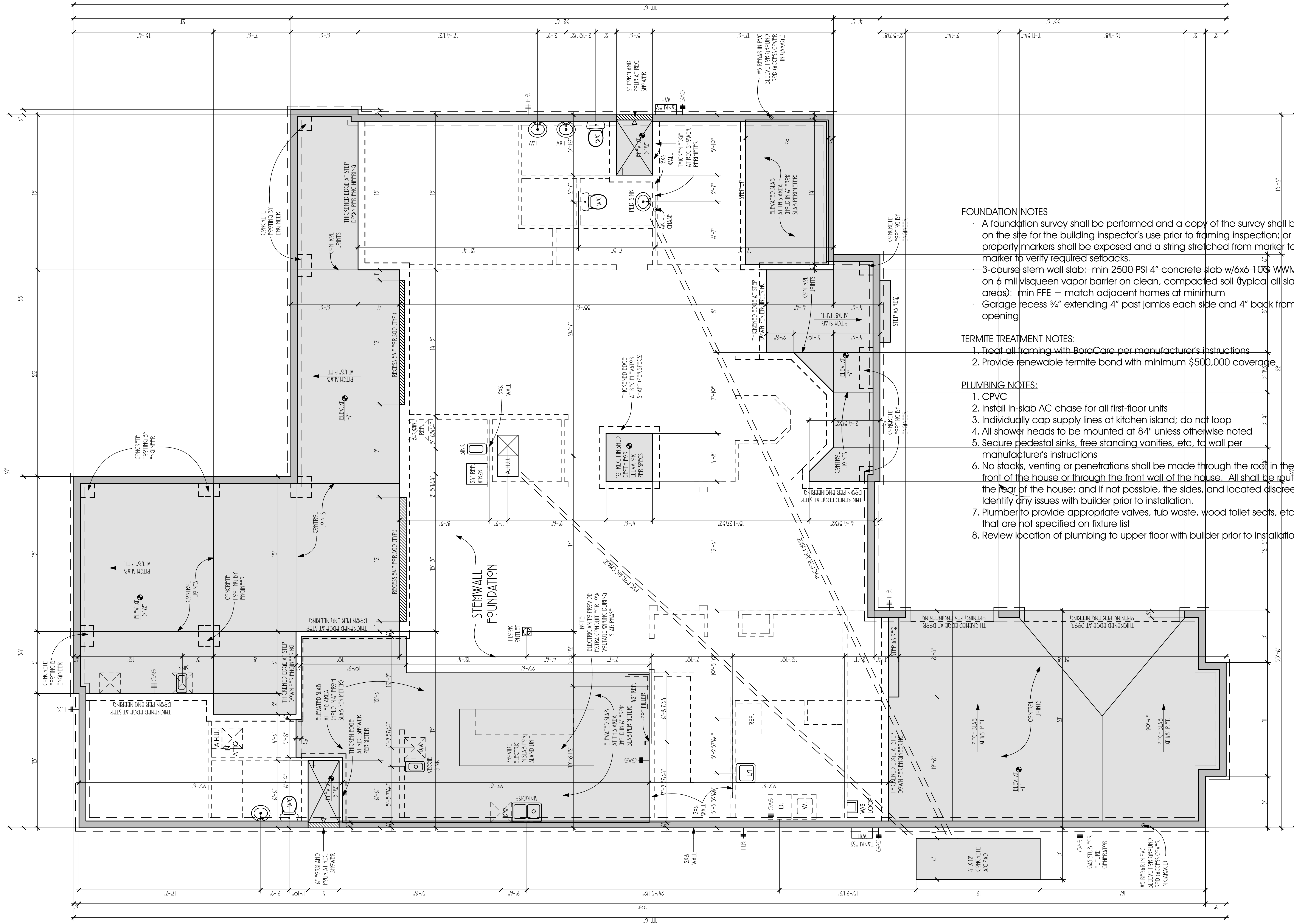


5466

LIVING 1:	3420
LIVING 2:	2046
TOTAL A/C:	5466
GARAGE:	749
FRONT PORCHES:	150
REAR PORCHES:	929
TOTAL COV.:	7294
UNCOVERED PATIO:	346

DATE: 4/23/2017
 DESIGN BY: SAM CLAUSEN
 DRAWN BY: SAM CLAUSEN

PLAN NO.
C-1
 OF



- FOUNDATION NOTES**
- 1. A foundation survey shall be performed and a copy of the survey shall be on the site for the building inspector's use prior to framing inspection; or all property markers shall be exposed and a string stretched from marker to marker to verify required setbacks.
 - 2. 3-course stem wall slab: min 2500 PSI 4" concrete slab w/6x6 10G WMM on 6 mil visqueen vapor barrier on clean, compacted soil (typical all slab areas); min FFE = match adjacent homes at minimum
 - 3. Garage recess 3/4" extending 4" past jambs each side and 4" back from opening
- TERMITE TREATMENT NOTES:**
1. Treat all framing with BoraCare per manufacturer's instructions
 2. Provide renewable termite bond with minimum \$500,000 coverage
- PLUMBING NOTES:**
1. CPVC
 2. Install in-slab AC chase for all first-floor units
 3. Individually cap supply lines at kitchen island; do not loop
 4. All shower heads to be mounted at 84" unless otherwise noted
 5. Secure pedestal sinks, free standing vanities, etc., to wall per manufacturer's instructions
 6. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be required to the rear of the house; and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
 7. Plumber to provide appropriate valves, tub waste, wood toilet seats, etc., that are not specified on fixture list
 8. Review location of plumbing to upper floor with builder prior to installation.

Foundation Plan
Tilak Residence

REVISIONS:

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TILAK RESIDENCE

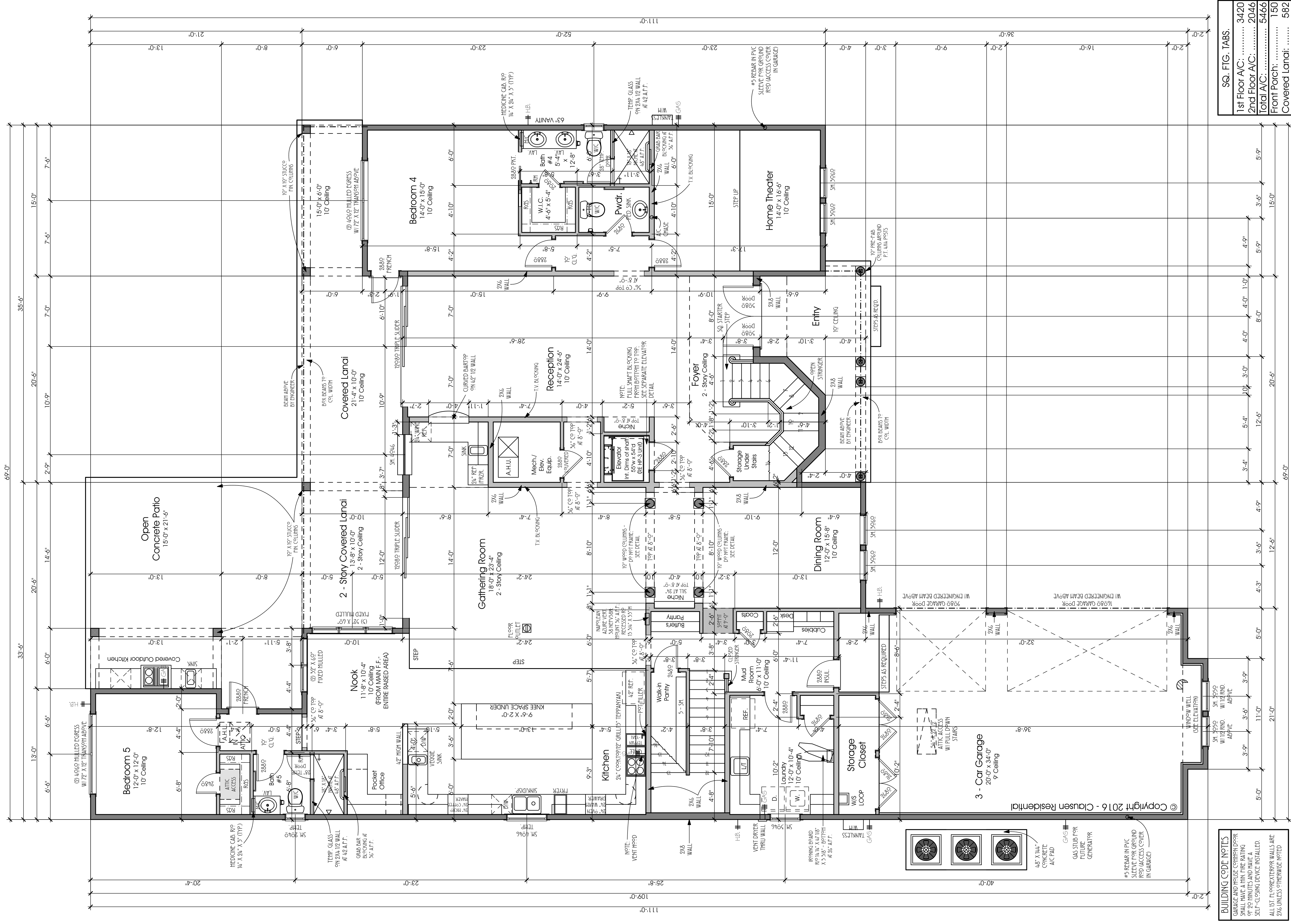
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5466

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DATE: 4/23/2017
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
A-1
OF



SQ. FIG. TABS.	
1st Floor A/C:	3420
2nd Floor A/C:	2046
Total A/C:	5466
Front Porch:	150
Covered Lanai:	582
Rear Balcony:	347
Garage:	749
Total Covered:	7294
Uncovered Patio:	346

BUILDING CODE NOTES	
GARAGE AND PORCHES:	PERK
REAR PORCHES:	PERK
SELF-CLOSING DEVICE:	PERK
ALL 10' FLOOR-TO-GARAGE WALLS ARE:	PERK
2x6 GIRDERS:	PERK

First Floor Plan
Proposed Tilak Residence

- PERK NOTES:**
1. W-120 System
 2. R-120 System
 3. R-120 System
 4. R-120 System
 5. R-120 System
 6. R-120 System
 7. R-120 System
 8. R-120 System
 9. R-120 System
 10. R-120 System
 11. R-120 System
 12. R-120 System
 13. R-120 System
 14. R-120 System
 15. R-120 System
- HOUSEWIRE/CONDUIT/USE NOTES:**
1. Use as specified.
 2. Use as specified.
 3. Use as specified.
 4. Use as specified.
 5. Use as specified.
 6. Use as specified.
 7. Use as specified.
 8. Use as specified.
 9. Use as specified.
 10. Use as specified.
 11. Use as specified.
 12. Use as specified.
 13. Use as specified.
 14. Use as specified.
 15. Use as specified.
- MECHANICAL NOTES:**
1. Furnace: open web; 2x6 bottom chord on roof truss.
 2. Use engineer to review HVAC duct placement with builder prior to framing.
 3. Ensure no floor trusses in way of second floor plumbing.
 4. Check for structural member system.
 5. Use as specified.
 6. Use as specified.
 7. Use as specified.
 8. Use as specified.
 9. Use as specified.
 10. Use as specified.
 11. Use as specified.
 12. Use as specified.
 13. Use as specified.
 14. Use as specified.
 15. Use as specified.
- WALL NOTES:**
1. W-120, 1x4 2x6 Sides, White
 2. S-120, 1x4 2x6 Sides, White
 3. Use as specified.
 4. Use as specified.
 5. Use as specified.
 6. Use as specified.
 7. Use as specified.
 8. Use as specified.
 9. Use as specified.
 10. Use as specified.
 11. Use as specified.
 12. Use as specified.
 13. Use as specified.
 14. Use as specified.
 15. Use as specified.
- CEILING NOTES:**
1. W-120, 1x4 2x6 Sides, White
 2. S-120, 1x4 2x6 Sides, White
 3. Use as specified.
 4. Use as specified.
 5. Use as specified.
 6. Use as specified.
 7. Use as specified.
 8. Use as specified.
 9. Use as specified.
 10. Use as specified.
 11. Use as specified.
 12. Use as specified.
 13. Use as specified.
 14. Use as specified.
 15. Use as specified.
- FLOORING NOTES:**
1. W-120, 1x4 2x6 Sides, White
 2. S-120, 1x4 2x6 Sides, White
 3. Use as specified.
 4. Use as specified.
 5. Use as specified.
 6. Use as specified.
 7. Use as specified.
 8. Use as specified.
 9. Use as specified.
 10. Use as specified.
 11. Use as specified.
 12. Use as specified.
 13. Use as specified.
 14. Use as specified.
 15. Use as specified.
- DOOR AND WINDOW NOTES:**
1. W-120, 1x4 2x6 Sides, White
 2. S-120, 1x4 2x6 Sides, White
 3. Use as specified.
 4. Use as specified.
 5. Use as specified.
 6. Use as specified.
 7. Use as specified.
 8. Use as specified.
 9. Use as specified.
 10. Use as specified.
 11. Use as specified.
 12. Use as specified.
 13. Use as specified.
 14. Use as specified.
 15. Use as specified.

REVISIONS:

NO.	DESCRIPTION

TILAK RESIDENCE

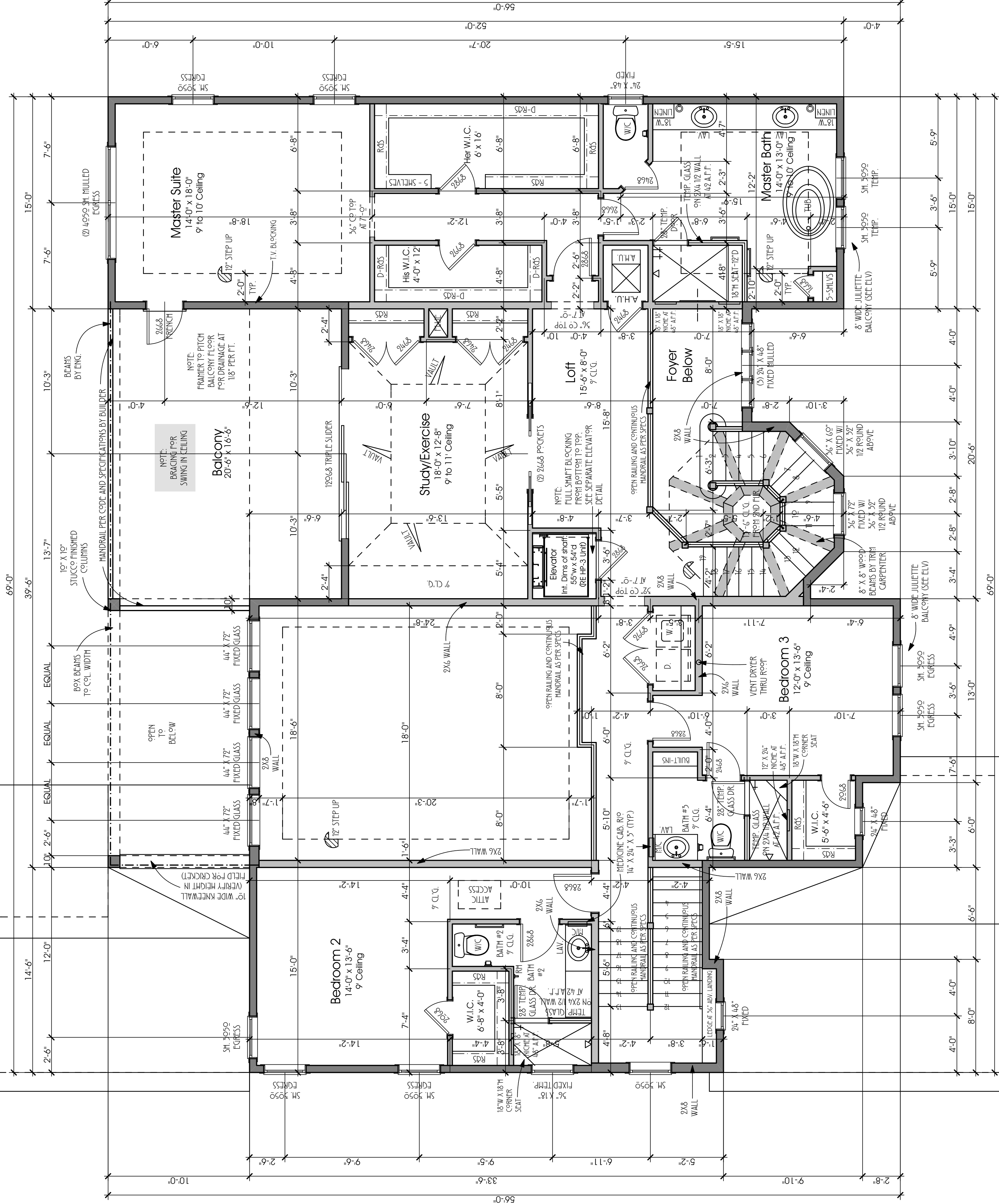
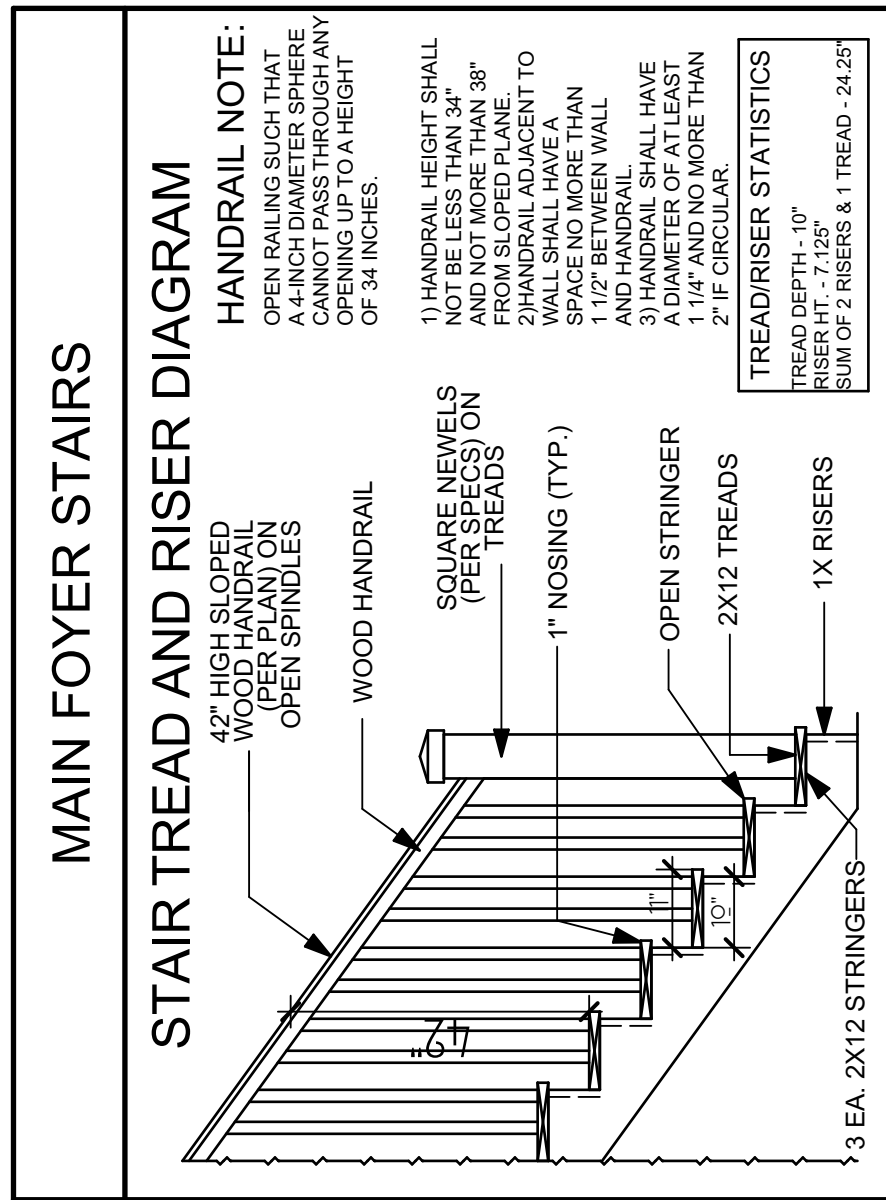
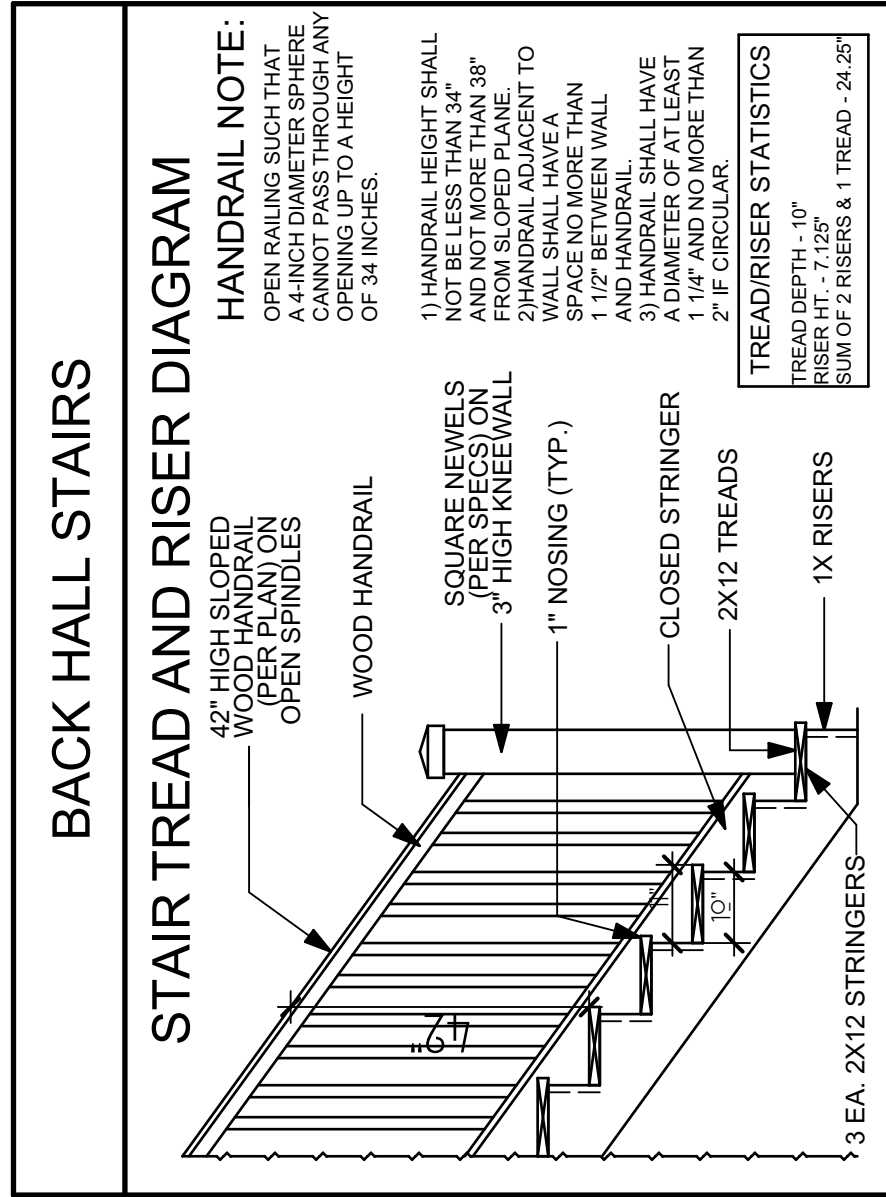


5466

LIVING 1:	3420
LIVING 2:	2046
TOTAL A/C:	5466
GARAGE:	749
FRONT PORCHES:	150
REAR PORCHES:	929
TOTAL COV.:	7294
UNCOVERED PATIO:	346

DATE: 4/23/2017
DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO. A-2
OF



Second Floor Plan

Proposed Tilak Residence

- FRAMING NOTES:**
1. Wall sheathing: 7/16" 2p System
 2. Floor sheathing: 3/4" Advantech flooring
 3. Roofing sheathing: 7/16" OSB with incident barrier for shingle
 4. Patch ceiling sheathing: 7/16" OSB
 5. Install floor and roof trusses (sawtooth by other)
 6. Roof dry-in by others
 7. No wall thickness are to be changed (e.g., 2x4 @26) without builder approval
 8. Check trade information for rough openings for exterior doors, interior doors, pocket doors and windows
 9. Garage rough openings to be call size
 10. Garage goal posts on interior only; no bucks on ramps
 11. Staircase: Main Stairs: open stringer; wood treads and risers
Back Stairs: closed stringer; wood treads and risers
 12. Initial double 2x4 cut-off at open string locations
 13. Initial double 2x4 cut-off at second floor walk-in shower locations
 14. Initial 2x6 blocking around perimeter of walk-in showers at floor
 15. Initial 2x6 blocking behind pedestal sinks (initial between 30" and 36" AFF)
 16. Initial appropriate blocking/nails for drywall throughout, especially of tub/showers
 17. Main entrance door returns of 5' whenever possible to accommodate wide casing; review exceptions with builder prior to framing
- TRUSS/RAFTER NOTES:**
1. Trusses: open web; 2x6 bottom chords on roof trusses
 2. Truss engineer to review HVAC duct placement with builder prior to finalizing design
 3. Ensure no floor trusses in way of second floor plumbing
 4. Quick-tie structural metal system
- HOUSEWRAP/WINDOW TAPE NOTES:**
1. Housewrap: r/va ZIP System sheathing
 2. ZIP System seam taping: tape all wall sheathing seams, corners, penetrations, etc., in accordance with manufacturer's instructions with 4" ZIP System Tape (tape provided by builder)
 3. Window tape: install 4" ZIP System Tape, all sides (butterfly sill corner) (tape provided by builder)
- WINDOW NOTES:**
1. Windows: Mt. 5500 series vinyl single hung, low-E2, white
 2. SSS: W-420 series, white
- HVAC NOTES:**
1. Min 15 SEER systems (trade to specify brand, size and equipment model numbers)
 2. Thermostat: Honeywell Lyric programmable
 3. White adjustable grills
 4. Ductwork installation to meet Energy Star requirements
 5. Install condensate lines for all units as needed
 6. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house, and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
 7. Provide roof boots as needed.
- GAS (APPROX) NOTES:**
1. Note locations of gas drops: range, grill, (2) HWH, generator
 2. Rinnai tankless HWH (trade to specify size and equipment model or equivalent)
 3. Provide and install buried 250g fuel tank and fill tank prior to end of construction
 4. No stacks, venting or penetrations shall be made through the roof in the front of the house or through the front wall of the house. All shall be routed to the rear of the house, and if not possible, the sides, and located discreetly. Identify any issues with builder prior to installation.
- DRYWALL NOTES:**
1. 4 x 12 boards (typically)
 2. Walls: 1/2" regular sheetrock; level 4 smooth finish
 3. Ceilings: 1/2" ceiling board w/ double knock-down finish
 4. Exterior ceilings: by others
 5. Wet areas: Durock
Master shower to ceiling, including any bench
Secondary bath to ceiling
 6. Fixed windows: do not drywall sill
 7. Take special care to not leave exposed fasteners in pocket door cavities
- INSULATION NOTES:**
1. Attic: R-38 blown
 2. Walls: R-21 high density fiberglass batt
 3. Other areas: Insulate per building code
 4. Building caulking and sealing to meet Energy Star requirements

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TILAK RESIDENCE



5466

LIVING 1:	3420
LIVING 2:	2046
TOTAL A/C:	5466
GARAGE:	749
FRONT PORCHES:	150
REAR PORCHES:	929
TOTAL COV.:	7294
UNCOVERED PATIO:	346

DATE:	4/23/2017
DESIGN BY:	SAM CLAUSEN
DRAWN BY:	SAM CLAUSEN

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TILAK RESIDENCE

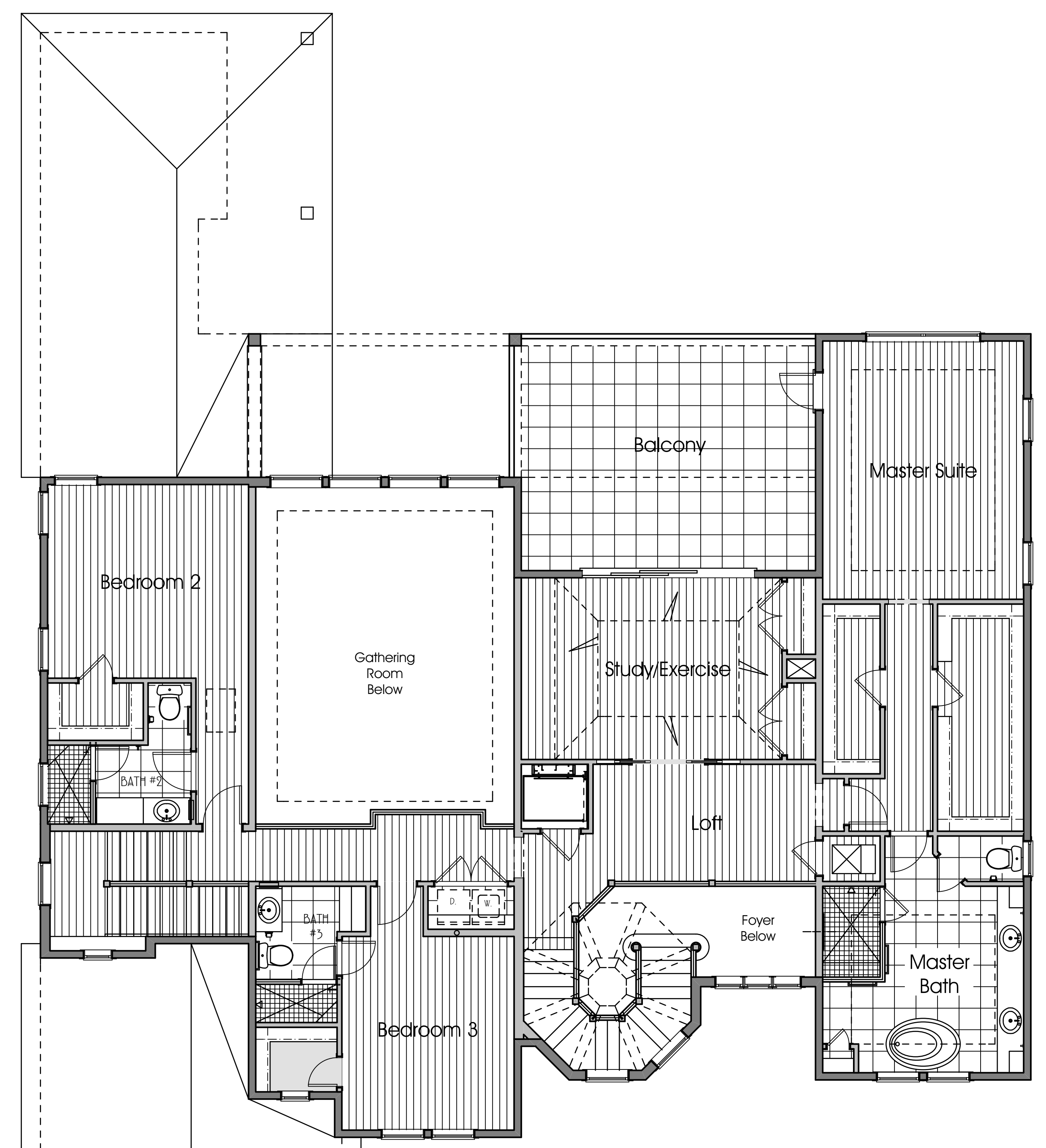


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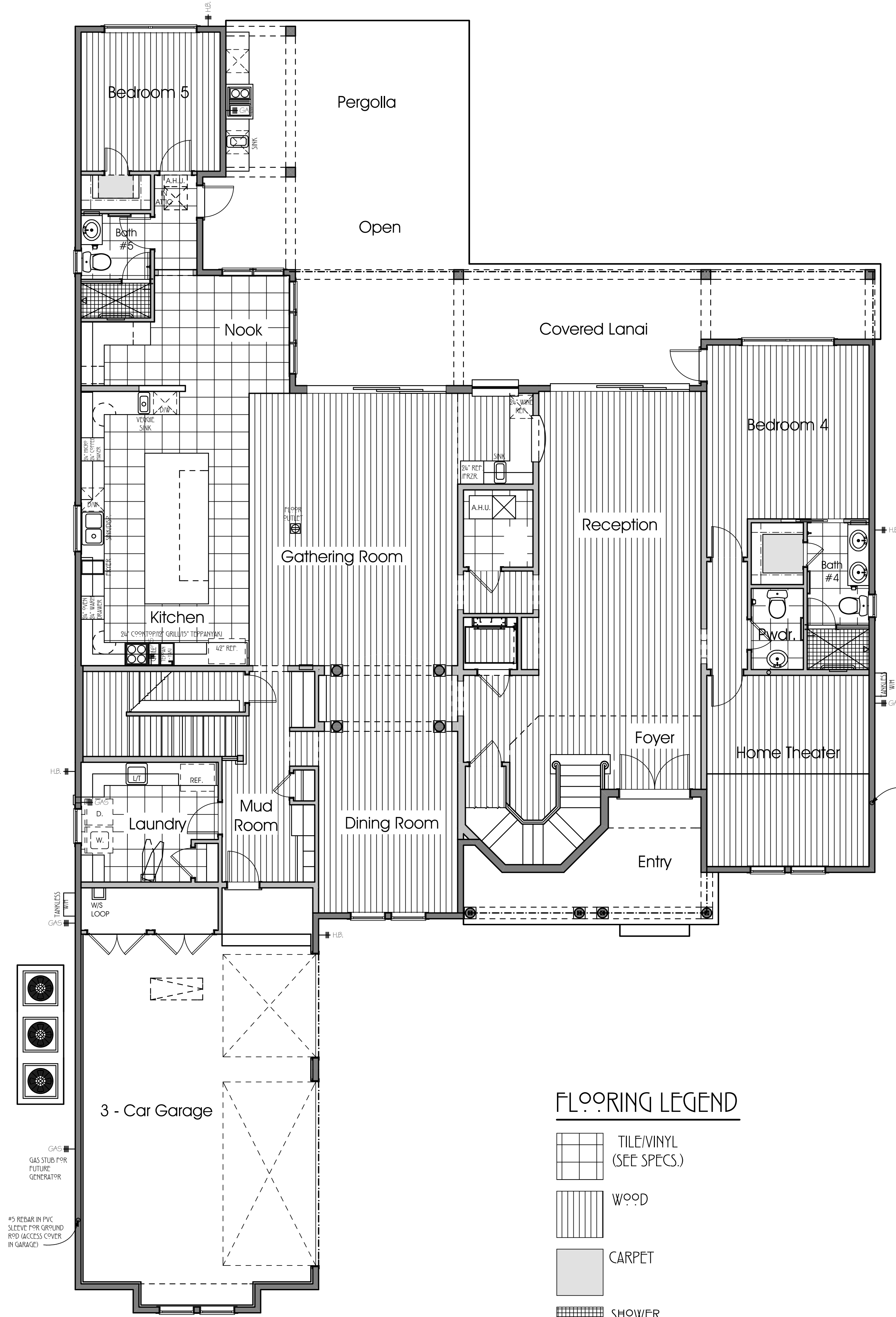
PLAN NO.
A-4
 OF



FLOORING LEGEND

- TILE/VINYL (SEE SPECS.)
- WOOD
- CARPET
- SHOWER
- CONCRETE

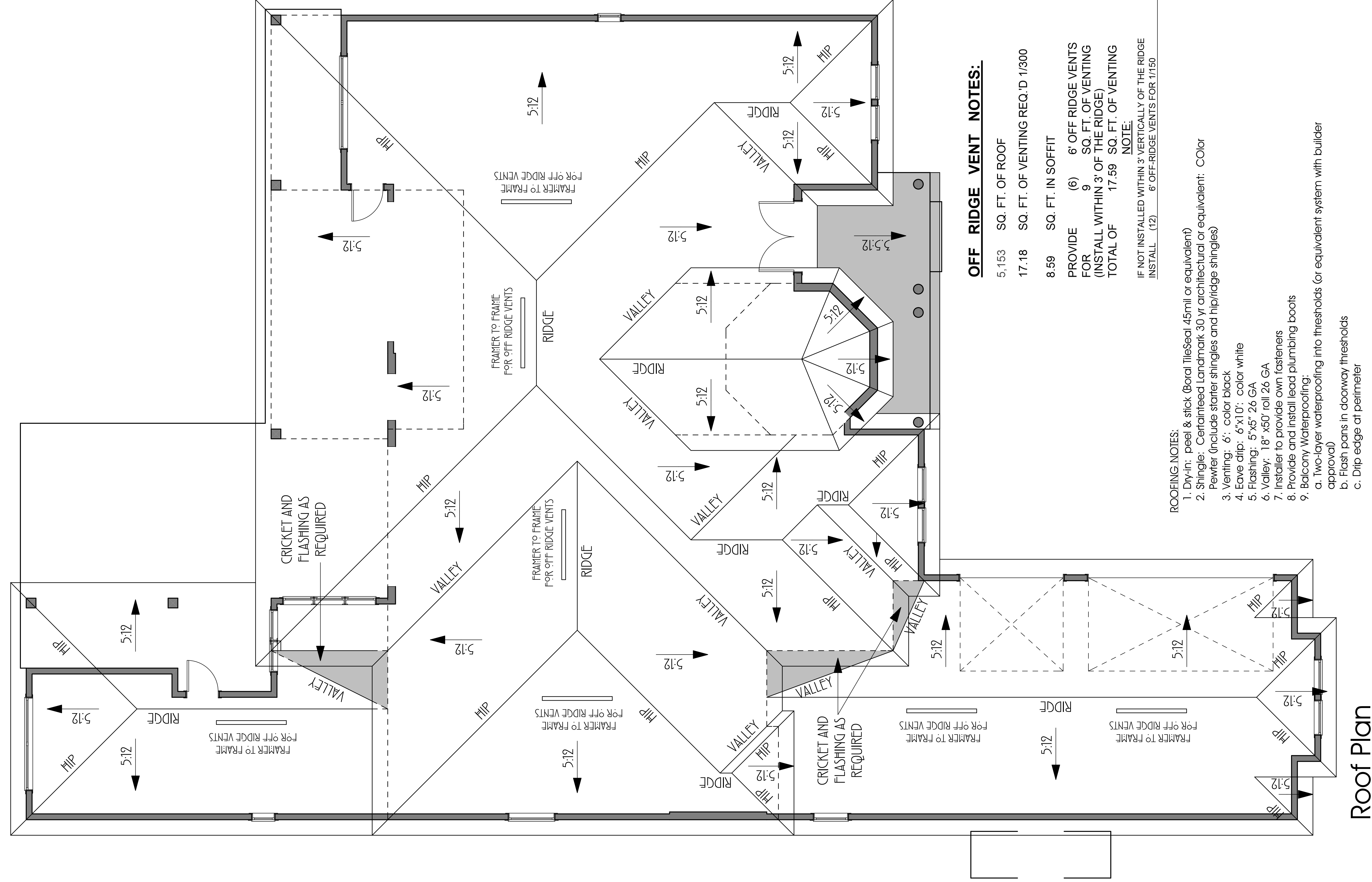
Second Floor Flooring Plan
 3/16" EQUALS 1'-0"



FLOORING LEGEND

- TILE/VINYL (SEE SPECS.)
- WOOD
- CARPET
- SHOWER
- CONCRETE

First Floor Flooring Plan
 3/16" EQUALS 1'-0"



OFF RIDGE VENT NOTES:

5.153	SQ. FT. OF ROOF
17.18	SQ. FT. OF VENTING REQ. D 1/300
8.59	SQ. FT. IN SOFFIT
PROVIDE 6	6" OFF RIDGE VENTS
FOR 9	SQ. FT. OF VENTING
(INSTALL WITHIN 3' OF THE RIDGE)	
TOTAL OF	17.59 SQ. FT. OF VENTING

NOTE:
IF NOT INSTALLED WITHIN 3' VERTICALLY OF THE RIDGE
INSTALL (12) 6" OFF-RIDGE VENTS FOR 1/150

ROOFING NOTES:

1. Dry-in: peel & stick (Boral TileSeal 45mil or equivalent)
2. Shingle: Certainteed Landmark 30 yr architectural or equivalent: Color
3. Pewter (include starter shingles and hip/ridge shingles)
3. Venting: 6": color black
4. Eave drip: 6"x10": color white
5. Flashing: 5"x5", 26 GA
6. Valley: 18" x50' roll 26 GA
7. Installer to provide own fasteners
8. Provide and install lead plumbing boots
9. Balcony Waterproofing:
 - a. Two-layer waterproofing into thresholds (or equivalent system with builder approval)
 - b. Flash pans in doorway thresholds
 - c. Drip edge at perimeter

Roof Plan
3/16" EQUALS 1'-0"

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5466

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DESIGN BY: SAM CLAUSEN
DRAWN BY: SAM CLAUSEN

PLAN NO.
A-5
OF

TILAK RESIDENCE

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TILAK RESIDENCE

CLAUSEN
 residential design

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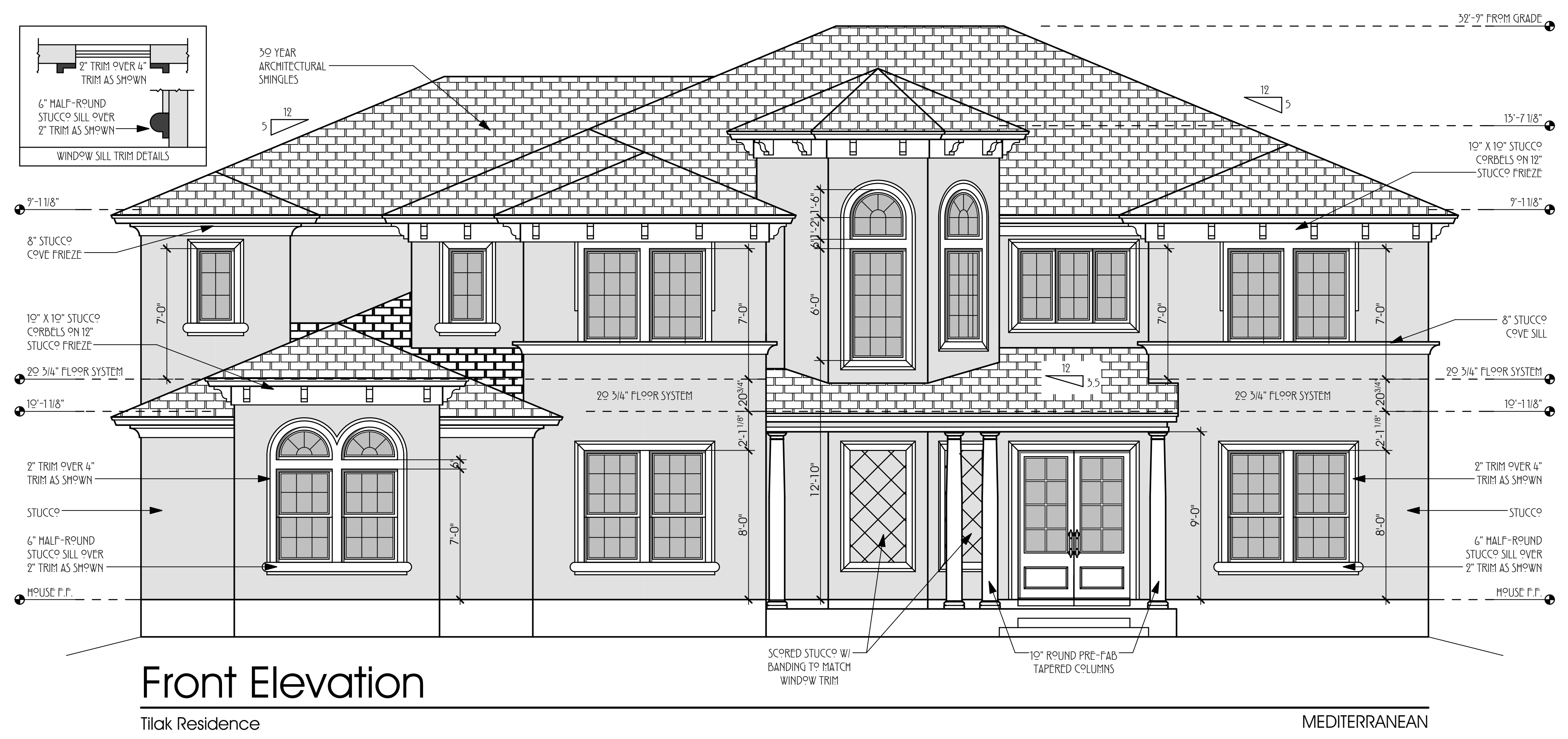
PLAN NO.
A-6
 OF

SOFFIT/FASCIA/PORCH CEILING/GUTTERS NOTES:

- Soffit/fascia: Kaycan full "O" vented, color white
- Porch ceilings: Finish by others
- Gutters: None

STUCCO NOTES:

- Lathing: Chase Metals lathing, corner bead and accessories, or equivalent
- Cement: Rinker
- Three step stucco process
- Stucco: Acrocrete synthetic stucco or equivalent
- Finish: Worm/Swirl finish, pre-colored to SW7668 March Wind (including skip trowel on stem wall foundation)
- Banding specifications per plans



Front Elevation

Tilak Residence

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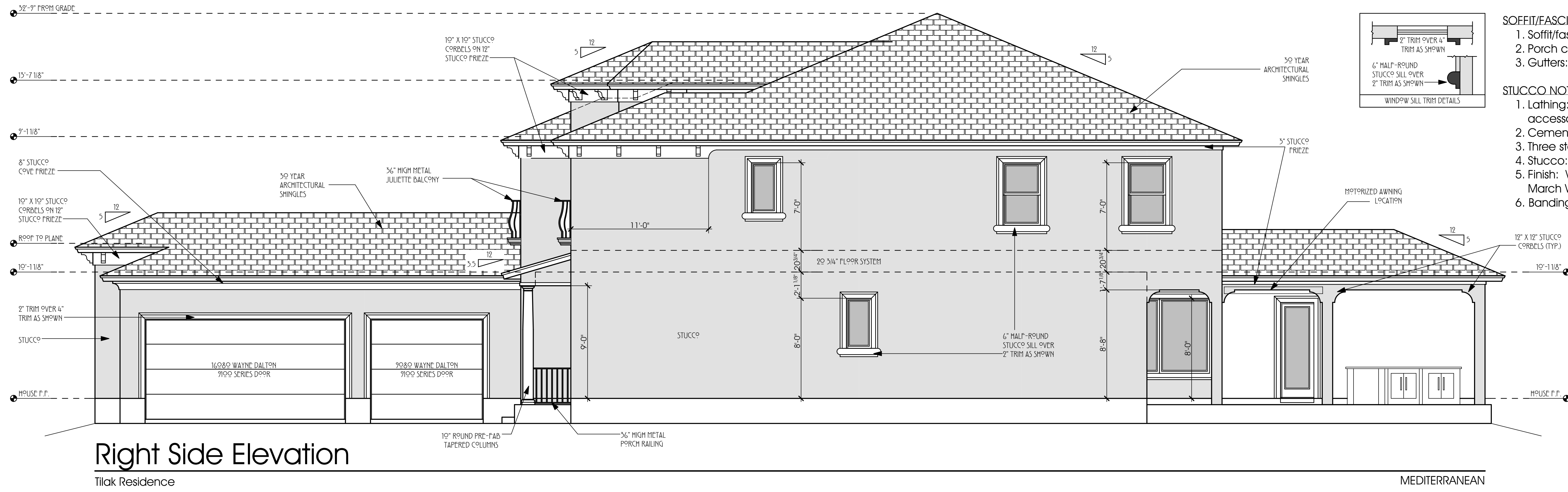


Rear Elevation

Tilak Residence

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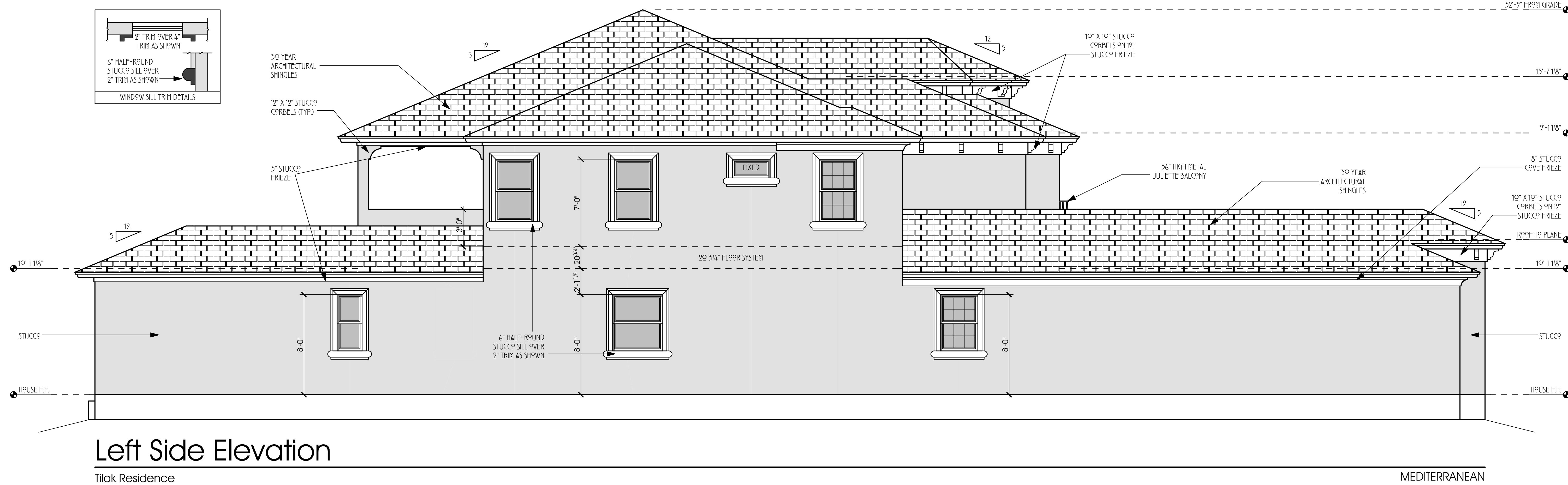


- SOFFIT/FASCIA/PORCH CEILING/GUTTERS NOTES:**
1. Soffit/fascia: Kaycan full "O" vented, color white
 2. Porch ceilings: Finish by others
 3. Gutters: None
- STUCCO NOTES:**
1. Lathing: Chase Metals lathing, corner bead and accessories, or equivalent
 2. Cement: Rinker
 3. Three step stucco process
 4. Stucco: Acrocrete synthetic stucco or equivalent
 5. Finish: Worm/Swirl finish, pre-colored to SW7668 March Wind (including skip trowel on stem wall foundation)
 6. Banding specifications per plans

Right Side Elevation

Tilak Residence

MEDiterranean



Left Side Elevation

Tilak Residence

MEDiterranean

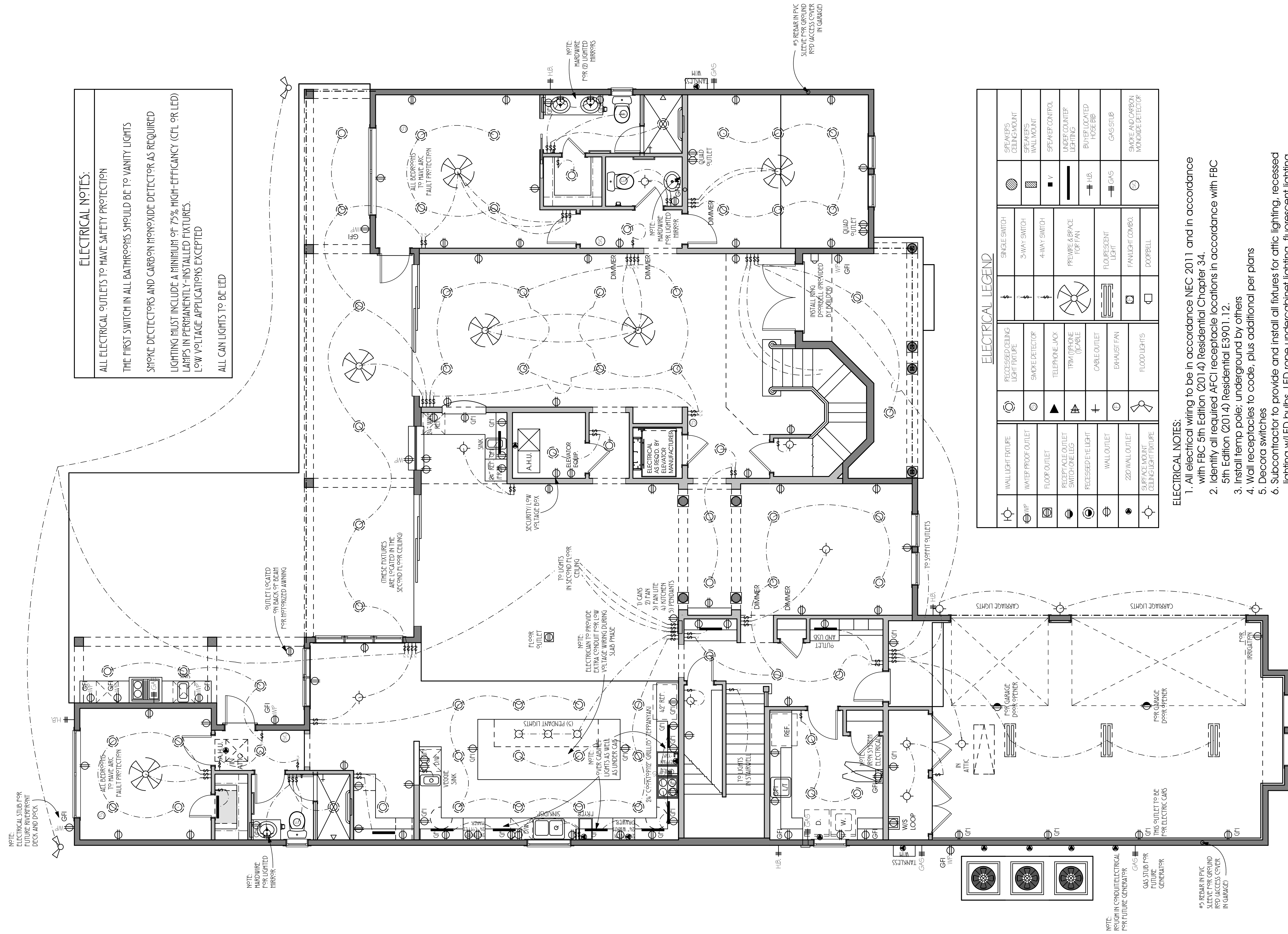
CLAUSEN
 residential design

5466

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DATE: 4/23/2017
 DESIGN BY: SAM CLAUSEN
 DRAWN BY: SAM CLAUSEN

PLAN NO.
A-7
 OF



ELECTRICAL NOTES:
 ALL ELECTRICAL OUTLETS TO HAVE SAFETY PROTECTION
 THE FIRST SWITCH IN ALL BATHROOMS SHOULD BE TO VANITY LIGHTS
 SMOKE DETECTORS AND CARBON MONOXIDE DETECTOR AS REQUIRED
 LIGHTING MUST INCLUDE A MINIMUM OF 75% HIGH-EFFICIENCY (CFL OR LED) LAMPS IN PERMANENTLY-INSTALLED FIXTURES.
 LOW VOLTAGE APPLICATIONS EXCEPTED
 ALL CAN LIGHTS TO BE LED

ELECTRICAL LEGEND

WALL LIGHT FIXTURE	RECESSED CEILING LIGHT FIXTURE	SINGLE SWITCH	SPEAKERS CEILING/MOUNT
WATER PROOF OUTLET	SMOKE DETECTOR	3-WAY SWITCH	SPEAKERS WALL/MOUNT
FLOOR OUTLET	TELEPHONE JACK	4-WAY SWITCH	SPEAKER CONTROL
RECEPTACLE OUTLET SWITCH/LEG	TRIM/ROPE (USABLE)	PROXIMITY SENSITIVE FOR FAN	UNDER-CABINET LIGHTING
RECESSED RE-LEIGHT	CABLE OUTLET	FLOUORESCENT LIGHT	BUFFER LOCATED HOSE/BIB
WALL OUTLET	EXHAUST FAN	FAN/LIGHT COMBO	GAS/STUB
220 WALL OUTLET	FLOOD LIGHTS	DOORBELL	SMOKE AND CARBON MONOXIDE DETECTOR
SURFACE MOUNT CEILING LIGHT FIXTURE			

- ELECTRICAL NOTES:**
- All electrical wiring to be in accordance NEC 2011 and in accordance with FBC 5th Edition (2014) Residential Chapter 34.
 - Identify all required AFCI receptacle locations in accordance with FBC 5th Edition (2014) Residential E3901.12.
 - Install temp pole, underground by others
 - Wall receptacles to code, plus additional per plans
 - Decora switches
 - Subcontractor to provide and install all fixtures for attic lighting, recessed lighting w/LED bulbs, LED rope, undercabinet lighting, fluorescent lighting, bath fans, doorbell and double floodlights; install only all decorative surface mount fixtures and ceiling fans provided by builder/lighting supplier
 - Bond gas line, if present

- LOW VOLTAGE NOTES:**
- Standard package:
 - Structured wiring with 18 drops
 - Full security system with all openings contacted and two keypads
 - Surround sound pre-wire in great room with speaker locations capped
 - Additional items per homeowner selection at showroom visit
 - Provide updated quote and mark-up to builder after showroom visit and include additional corresponding electrical needs, if any

First Floor Electrical Plan
 1/4" = EQUALS 1'-0"

REVISIONS:

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TILAK RESIDENCE

CLAUSEN residential design
 5466

LIVING 1:	3420
LIVING 2:	2046
TOTAL A/C:	5466
GARAGE:	749
FRONT PORCHES:	150
REAR PORCHES:	929
TOTAL COV.:	7294
UNCOVERED PATIO:	346

DATE: 4/23/2017
 DESIGN BY: SAM CLAUSEN
 DRAWN BY: SAM CLAUSEN

PLAN NO.
E-1
 OF

